

Pekin Zoning Board of Appeals Meeting
111. S. Capitol Street
City Council Chambers 2nd Floor
July 12th, 2023
5:00 PM

A regularly scheduled meeting of the Pekin Zoning Board of Appeals will be held at Pekin City Hall, 111 South Capitol Street, City of Pekin, Illinois, on the 12th day of July 2023, at 5:00 PM.

Pledge of Allegiance

- I. Roll Call
- II. Agenda Approval
- III. Minutes Approval from May 10, 2023
- IV. City Council Action Report
- V. Applications and Hearings
- VI. Other Items for Consideration and Recommendation
- VII. Informal Discussion
- VIII. Public Input
- IX. Adjourn

Case V 2023-07

A variance request submitted by Andreia R. Foster for the property located at 1903 Alameda Ct to allow for an inground swimming pool to be built in the side yard. Said property is zoned R-1 One Family Residential and with a legal description, SEC 11 T24N R5W SAUSALITO BAY EST LOTS 18-A & 19-A NE 1/4 .39 AC, with the following PIN: 10-10-11-213-025, in Tazewell County, Illinois.

Case V 2023-08

A variance request submitted by Heather & Ryan Thomas to reduce the side and rear yard setbacks at 229 Koch St. Said property is zoned RM-2 Multiple Family Residential and with a legal description, SEC 3 T24N R5W ROSEDALE ADDN LOT 280 SW 1/4, with the following PIN: 04-10-03-322-013, in Tazewell County, Illinois.

Case V 2023-09

A variance request submitted by Phil & Diana Cousineau for the property located at 1915 ½ Willow St. to reduce the west side yard setback from 5ft to 4ft to allow for a room addition to be built onto the rear of the residence. Said property is zoned R-3 One Family Residential and with a legal description, SEC 36 T25N R5W EAST WILLOW ADDN W 35' OF LOT 7 NW 1/4, with the following PIN: 04-04-36-112-037, in Tazewell County, Illinois.

Case V 2023-10

A variance request submitted by Robert Morris to reduce the minimum required distance of 10ft that is required between the primary structure and the garage to approximately 2ft at 1405 Henry St. Said property is zoned R-4 One Family Residential and with a legal description, SEC 2 T24N R5W STUCKEYS ASSESSMENT PLAT LOT 22 (50' X 60') SE 1/4, with the following PIN: 04-10-02-431-018, in Tazewell County, Illinois.

Case V 2023-11

A variance request submitted by Gale Credit Union to reduce the minimum required property line setback of 10ft to a zero-property line setback on the northwest property line at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

Case SU 2023-02

A Special Use request submitted by Gale Credit Union to allow for the construction and use of a drive-up bank teller at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

Case SPR 2023-02

A site plan review has been submitted by Gale Credit Union to allow for the construction of a drive-up bank teller at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

Subdivision and Vacation Plat Review

Subdivision and Vacation plat review for property located in the 100 block of Broadway St. ROW Property will be vacated to the adjoining property owner as shown in the plat of survey.

Other Items for Consideration and Recommendation

Informal Discussion:

Public Input

Adjourn

Nic Maquet, Secretary, Pekin Board of Appeals

Pekin Zoning Board of Appeals
111 S. Capital Street
City Council Chambers 2nd Floor May 10, 2023
5:00 PM

Present: Bill Craig, Chris Deverman, Donald Hild, David Huskisson, Mary Lanane, Kelly Madden, James Ruth, Steve Thompson (left meeting at 5:40pm), and Amy Wilson (arrival time 5:10pm).

The regular meeting of the Pekin Board of Appeals was called to order and quorum was declared. Staff present: Nic Maquet (Chief Building Official), Alina Kramer (Admin Assistant), Josie Esker (City Engineer) and Kate Swise (Legal Counsel).

The meeting was called to order at 5:00 PM. Motion by Commissioner Thompson to approve the agenda and second by Commissioner Madden. Motion carried unanimously.

Motion by Commissioner Lanane to approve minutes for the April 12, 2023 meeting, second by Commissioner Deverman. Motion carried unanimously.

City Council Action report by Nic Maquet:

Case RZ2022-07 Rezoned from R4 to RT approved by council with no modification.

Chariman:

Motion made by Steve Thompson to vote Donald Hild as chairman and second by Mary Lanane Approved 8-0.

Vice Chairman:

Motion made by Dave Huskisson to vote Bill Craig as vice chairman and second by Kelly Madden. Approved 8-0.

Case V 2023-04

A variance request submitted by Dean Schneider for the property located at 1813 Parkfield Dr to reduce side yard setbacks and increase curb cut width in order to build a pole barn with driveway. Said property is zoned R-1 One Family Residential and with a legal description SEC 11 T24N R5W DEERFIELD ESTATES SEC 1 LOT 8 NW 1/4, with the following PIN: 10-10-11-106-006, in Tazewell County, Illinois.

Open Public hearing 5:12pm Closed at 5:15pm

Dean Schneider explained his wants to build an outbuilding on his property. The surrounding properties do have outbuildings. Commissioner Lanane asked about any utilities and Dean explained that with the variance nothing would need to be relocated.

Discussion: David Huskisson said that his only concern was that we had previously denied a resident of combining two lots but after discussion it was clarified that it was an entirely different case. Motion made by Commissioner Thompson and second by Craig. Motion approved 9-0

Case V 2022-08 (Tabled from September 2022)

A variance request submitted by Michael McGlasson to bring an awning out 20 feet to the east side of the house and 6 feet in front of the house and over an area where current window will be replaced by a door at 1521 Henrietta St. Said property is zoned R-4 One Family Residential and with a legal description SEC 35 T25N R5W MILLERS ADDN LOT 9 BLK 8 SE 1/4, with the following PIN: 04-04-35-416-013, in Tazewell County, Illinois.

Public Hearing open at 5:20 Closed 5:23

Michael (property owner) had the property surveyed per our (zoning committee) request and the front yard setback would come forward. Josie explained there are no plans in place to widen the road but possible sidewalks in the future.

Commissioner Craig asked the resident if anything would extend past the four feet and it would not. The request would need to change from 6ft to 4ft. Commissioner Craig made the motion to change the variance, amending to 6 ft. Motion second by Thompson. Motion approved 9-0

Motion to approve the case as amended made by Commissioner Craig Second by Commissioner Thompson. Motion approved 7-2.

Case V 2023-05

A variance request submitted by Baldovin Construction (Padmavati Patel) for the property located at 1303 N 8th to reduce parking requirements for a wine bar. Said property is zoned B-3 General Business District with a legal description SEC 35 T25N R5W BAILEYS ADDN LOTS 7 & 8 (EXC HWY) BLK 1 NW 1/4, with the following PIN: 04-04-35-124-007 in Tazewell County, Illinois.

Public hearing 5:31pm closed 5:32pm

Haley Chipman (project designer) explained the plans for the property and states they can only get 12 spots to fit in the parking lot rather than 14 spots.

Motion made by Commissioner Ruth and Second by Thompson.

Discussion: The lot beside the physical property is empty and could possibly be used as overflow parking (the owner owns both parcels) Wilson has concerns with the parking on the south side of the building. Craig asked about restrictions on parking and Josie explained it is one direction traffic so they would need more than 20 feet. 54-74 degrees they require (Kate stated specifics) a maneuvering lane of 15 feet parking width of 8 ft 6 inches. Commissioner Wilson has concerns about the ADA Accessible space and wanted be sure that they meet codes. Wilson made a motion to approve a revised plan that the code meets parking codes minimum requirements. Seconded by Madden. Original motion all in favor, 9-0.

Motion to approve as amended by Ruth and second by Lanane approved 8-0 (Thompson left the meeting at 5:40).

Case SU 2023-01

A special use request submitted by Enviro-Safe (Randy & Julie Price) for the Construction of a 12,000 Sq Ft Gymnasium and Community center at 320, 324, 326, 328 and 330 Court St. The second floor would also be used as residential living. Said property is zoned B-2 Central Business District with a legal description of SEC 34 T25N R5W ORIGINAL TOWN E2' OF 4 & W21' OF LOT 5 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 29' LOT 5 & W 1/2 LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 1/2 OF LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN W 1/2 LOT 7 BLK 46 SE ¼, with the following PIN: 04-04-34-438-010, 04-04-34-438-011, 04-04-34-438-012, 04-04-34-438-013, 04-04-34-438-014 in Tazewell County, Illinois.

Public hearing open at 5:43pm Closed Public hearing at 5:44pm

Randy Price stated there would be residential living upstairs and the lower level will be a gymnasium. Building will have two exits on the upper level for the one apartment upstairs.

B-2 Zoning states the owner of the building can live upstairs but anyone other than the owner, it would require a special use variance. Questions regarding on how a building as such is taxed by Commissioner David Huskinson, Kate states she is not sure of that answer. This special use was for the gymnasium and the residential living (combined).

Motion to approve made by Commissioner Wilson and second by Commissioner Madden. Approved 8-0

Case V 2023-06

A parking variance request submitted by Enviro-Safe (Randy & Julie Price) for the Construction of a 12,000 Sq Ft Gymnasium and Community center.at 320, 324, 326, 328 and 330 Court St. Said property is zoned B-2 Central Business District with a legal description of SEC 34 T25N R5W ORIGINAL TOWN E2' OF 4 & W21' OF LOT 5 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 29' LOT 5 & W 1/2 LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 1/2 OF LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN W 1/2 LOT 7 BLK 46 SE ¼, with the following PIN: 04-04-34-438-010, 04-04-34-438-011, 04-04-34-438-012, 04-04-34-438-013, 04-04-34-438-014 in Tazewell County, Illinois.

Public Hearing Open and Closed at 6:20pm

Variance to allow for zero on site parking and removing all requirements: Motion to approve by Ruth and Second by Bill Craig. Approved 7-1

Randy Price stated there would be residential living upstairs and the lower level will be a gymnasium. The building will have two exits on the upstairs level for the one apartment. See below for discussion regarding parking variance.

Motion to approve made by Commissioner Craig and second by Ruth. Motion approved 7-1

Case SPR 2023-01

A site plan review submitted by Enviro-Safe (Randy & Julie Price) for the Construction of a 12,000 Sq Ft Gymnasium and Community center.at 320, 324, 326, 328 and 330 Court St. Said property is zoned B-2 Central Business District with a legal description of SEC 34 T25N R5W ORIGINAL TOWN E2' OF 4 & W21' OF LOT 5 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 29' LOT 5 & W 1/2 LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN E 1/2 OF LOT 6 BLK 46 SE ¼, SEC 34 T25N R5W ORIGINAL TOWN W 1/2 LOT 7 BLK 46 SE ¼, with the following PIN: 04-04-34-438-010, 04-04-34-438-011, 04-04-34-438-012, 04-04-34-438-013, 04-04-34-438-014 in Tazewell County, Illinois

Public hearing open at 6:25pm Closed Public hearing at 6:28pm

Randy Price stated there would be residential living upstairs and the lower level will be a gymnasium. Building will have two exits on the upstairs for the one apartment upstairs.

Committee discussed the storm water detention/retention. Craig asked Price if he had to put tanks into the plan would he still build and Price said he would not. Discussion if there are any additional options (tanks vs none) and there is not given the entire building takes up the entire property. Commissioner Ruth asked Price about possible storm water on the parking lot and Price stated since there is currently rock, he had no plans of putting retention in. Hild asked what the thoughts were on not requiring the tanks. Craig states that he doesn't like approving this without a plan for water retention but does not want to stop the project, Ruth agreed. Wilson discussed that if we allow this for this location then anything else zoned B2, others can follow suit. Price states he does not want to spend additional money into the project. Price stated he was building this in this location to bring more traffic downtown and to help the downtown district. Craig expressed his opinion that he feels we would be doing less for the city if we voted this down.

Informal Vote (consensus) on rather or not we are going to approve no detention. All voted yes. But we would need a better site plan. Case was tabled.

This case (SPR 2023-01) was tabled.

Discussion regarding case(s) SU 2023-01, V 2023-06 and SPR 2023-01

Special use is needed because the gymnasium is not listed within the specific zoning district nor is residential living allowed on upper floors for anyone other than the primary owner. Kate confirmed that if the special use is approved then anyone could live on the second floor. Commissioner Craig asked about parking requirements for a gym/community center. Nic explained that the parking would be similar to what we require parking to be for a sporting event (outdoor assembly 1 parking spot for every 6 feet of benches and or every 3 seats). Mr. Price wanted bus parking for the gymnasium at the 306 Court which is next to the Times Building. Commissioner Wilson asked about ADA entry and he explained that the fire dept did inform him that he would need two entrances off the back. Commissioner Craig asked about parking specifics and Nic said without any true plans we can not give a true occupancy. Nic explained that Mr. Price wanted to use public parking (as well). Commissioner Wilson expressed her concerns of the safety (for kids and spectators), as well as an overflow of parking due to zero adjacent parking. Commissioner Craig also said that the city provides a lot of parking to restaurants and he would like to find a way to help with parking to allow this project to move forward. Nic also explained that the current site plan there is not any storm water retention plan. Josie explained that the city staff has concerns with moving forward without a storm water retention plan. Commissioner Wilson states that there are a lot of unanswered questions. Amy's concern is the run off not having anywhere to go and it backing up the system. Josie explained that we have updated our code from when the original downtown was built to prevent further issues. Commissioner Wilson suggested that given Randy owns so much of the property on that block, there could be a modification to the plan to allow water to be collected into tanks under the parking. Commissioner Craig brought up the expense of it and that it might pose a challenge. Mr. Price indicated that if he had to put tanks in, he would not be able to move forward with the project.

Case RZ 2023-02

A rezoning request submitted by the City of Pekin for the property located at 230 Court St to change from RM-4 to RM-3 zoning as the city no longer has RM-4 in the code. Said property is zoned RM-4 Multi Family Residential with a legal description SEC 34 T25N R5W ORIGINAL TOWN LOTS 1 THRU 16 BLK 38, LOTS 1 THRU 8 BLK 39, LOTS 1 THRU 8 BLK 40 (EXC ROW) & VAC ST SE 1/4, with the following PIN: 04-04-34-442-003, in Tazewell County, Illinois.

Public hearing at 6:54 closed at 6:54

Motion made to approve by Chris Deverman and Second by Kelly Motion approved 8-0

Other Items for Consideration and Recommendation

Informal Discussion: N/A

Adjourn: Motion to adjourn by Wilson. Second by Kelly. Meeting closed at 6:56PM

Nic Maquet, Secretary, Pekin Board of Appeals



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

City Council Action Report
Meeting Date
MONDAY, MAY 22, 2023 5:30 PM

All Zoning cases that were recommended for approval during the May 10, 2023, Zoning Board of Appeals meeting were approved at the regular scheduled City council meeting held on Monday May 22, 2023.

- Case V 2023-04 was Approved.
- Case V 2022-08 was Approved.
- Case V 2023-05 was Approved.
- Case SU-2023-01 was Approved.
- Case V 2023-06 was Approved.
- Case RZ 2023-02 was Approved.



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet July 12, 2023

Case V 2023-07

A variance request submitted by Andreia R. Foster for the property located at 1903 Alameda Ct to allow for an inground pool to be built in the side yard. Said property is zoned R-1 One Family Residential and with a legal description, SEC 11 T24N R5W SAUSALITO BAY EST LOTS 18-A & 19-A NE 1/4 .39 AC, with the following PIN: 10-10-11-213-025, in Tazewell County, Illinois.

SUMMARY

The applicant wishes to install an inground swimming pool in the side yard. The rear yard abuts the lake shore and would make it very difficult if not impossible to install an inground pool in the rear yard. City Code section 4-3-5-2-2(3) states that all private swimming pools located within R-1 through R-4 Zoning districts shall be permitted as an accessory use within the rear yard only.

- Variance would allow for the installation of the inground swimming pool in the side yard.
- The swimming pool would be required to meet all other applicable Building and Zoning codes.
- A 4ft tall fence would be required around the pool or the yard.

STAFF NOTES

- Staff Recommends Approval



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Board of Appeals Application for Consideration

Type of Request (check one): ☐ A. Special Use (\$85) ☒ B. Residential Variance (\$85) ☐ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: <u>1903 Alameda Ct</u> Current Zoning (if known): <u>residential</u> Proposed Zoning (if rezoning request): _____ Current Use: <u>residential</u> Proposed Use (if different): _____
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Property Owner Name:	Andrea R Foster
Mailing Address:	1903 Alameda Ct, Pekin, IL 61554
Phone:	309 369 9494
Alternative Phone:	309 635 7195
E-Mail Address:	andrea.foster61@gmail.com

Applicant Name (if different):	PERMIT ZONING R-1
Mailing Address:	permit # 23PEK 200009
Phone:	pd with check # 1026
Alternative Phone:	received 5/11/23 [signature]
E-Mail Address:	



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

II. Payment: Payment of the amount indicated on the first page to accompany your application. If making payment via check, please make payment payable to the "City of Pekin".

III. Variance: If requesting a variance, you must complete and attach this page to your application:

1. Variances are intended to relieve situations involving a hardship in meeting Zoning Code requirements. What is the hardship that this variance request is intended to relieve? Examples of hardships can include the topography of the lot, unique shape of the lot or other physical conditions that prevent the request from meeting the requirements of the Zoning Code.

Both the low topography and the unique shape of the lot would make it difficult or impossible ^{at risk}

2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

yes, shape and topography of the lot

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

no

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

yes

5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?

yes, no negative impact



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Please summarize your request and explain why it is necessary:

Install an inground pool in my side yard.
Back yard is small and the topography is too low in relationship to the
existing water level/table.

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Audrea Foster

Owner Signature

5/11/2023

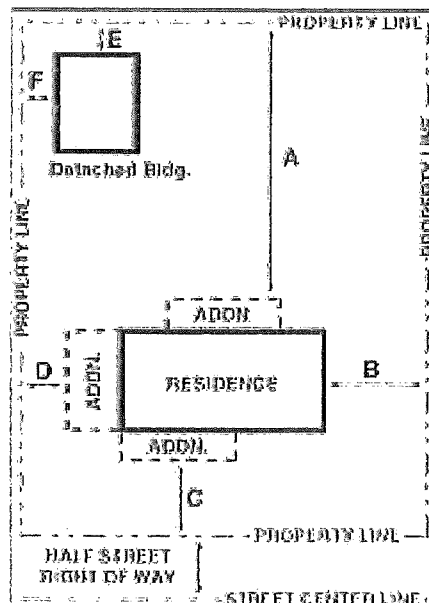
Date

CERTIFICATION BY THE APPLICANT (if different)

I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief.

Applicant Signature

Date



Driveway

8

SS1

Equipment

8'

11'

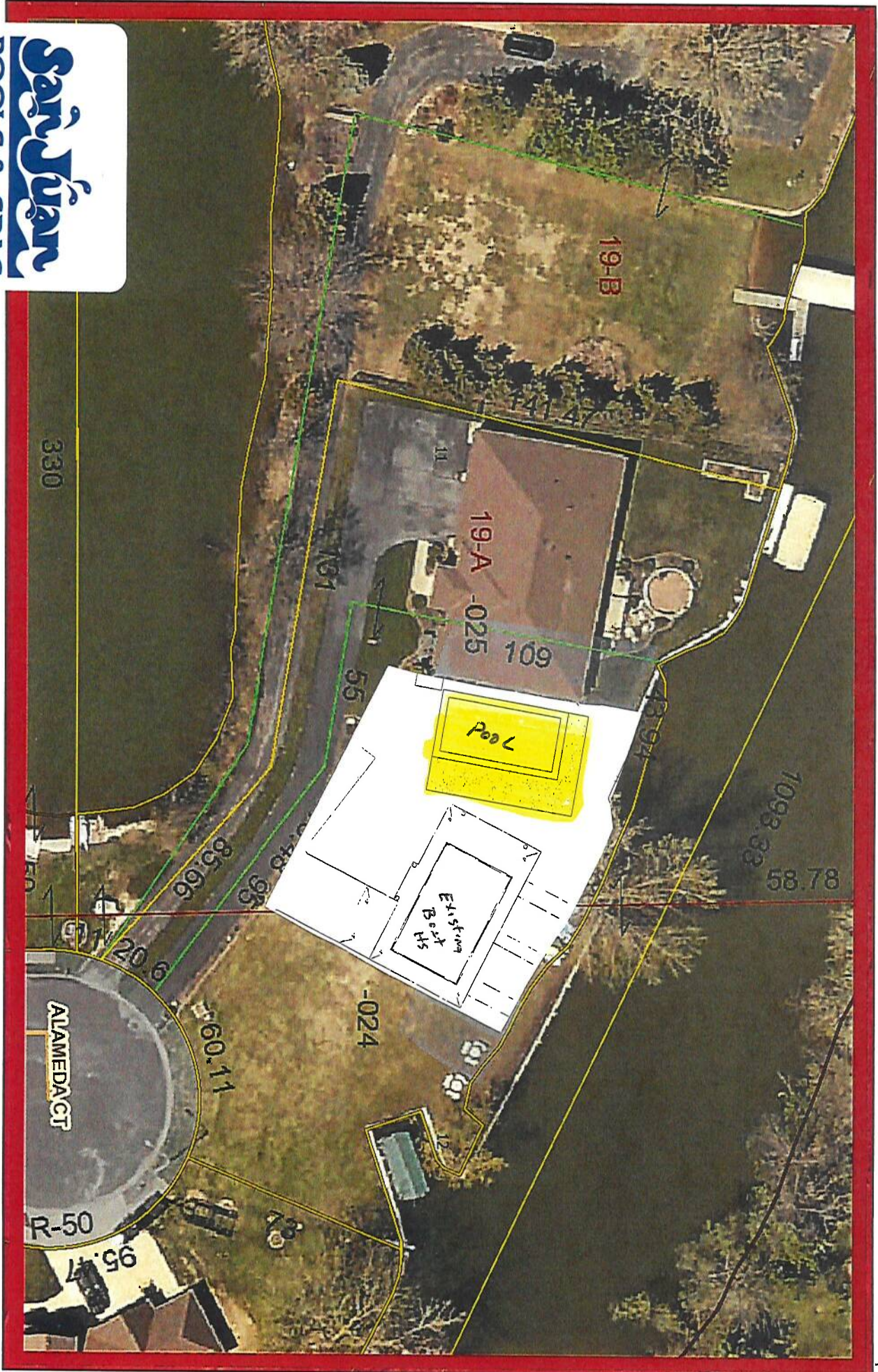
Pool
15x33

14'

0'

Boat Hs

Existing

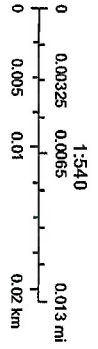


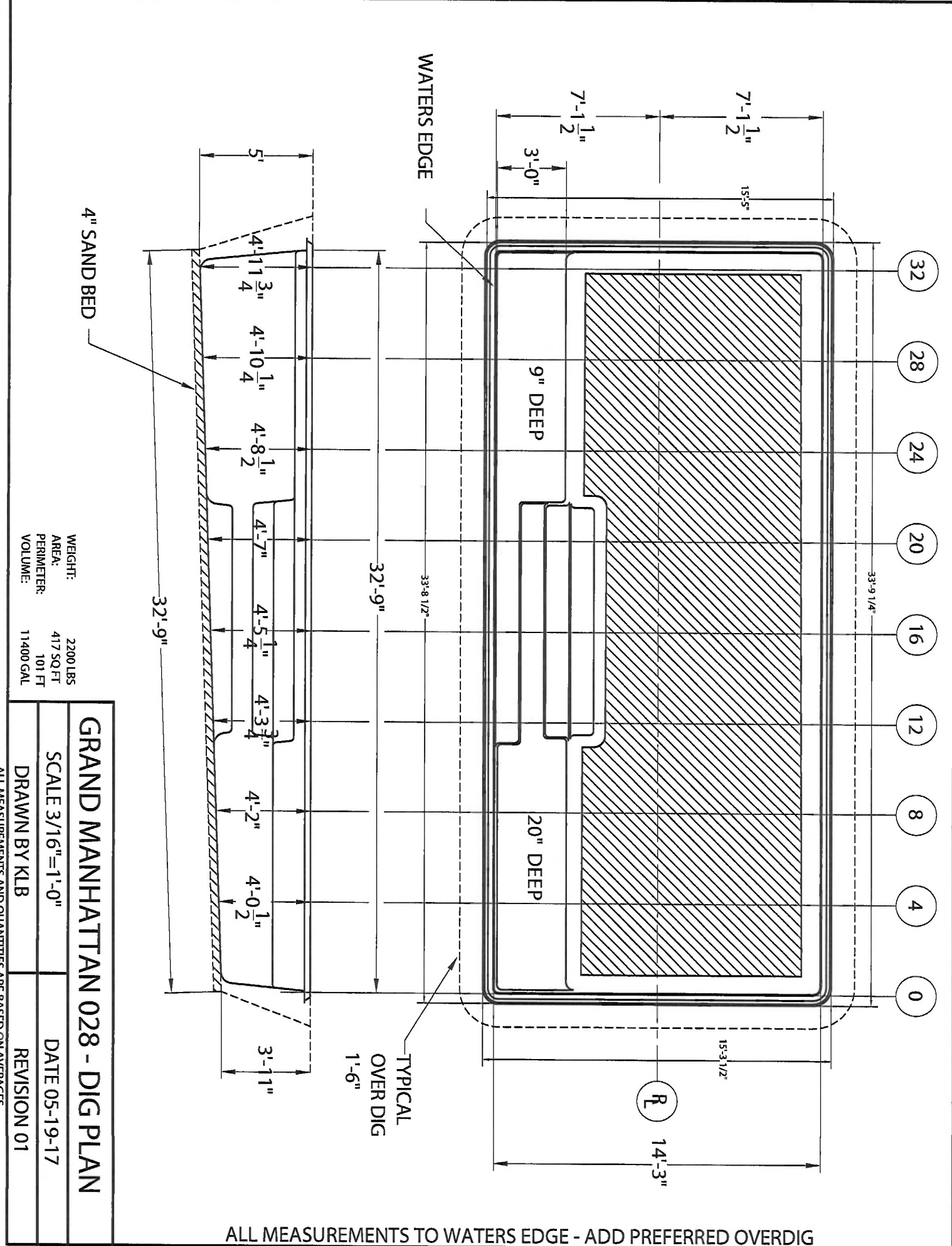
San Juan
POOLS & SPAS

2030 Broadway St - Pekin, IL
309-692-0292
sanjuanpekin.com

US 24
Streets

Tazewell County GIS parcel and map records available for property tax purposes only. This information has been compiled from the most accurate sources available and is provided for informational purposes only. It is not intended to be used for legal purposes. The information contained herein is for reference purposes only, and should not be relied upon as a substitute for a title search. Any reliance on the information contained herein is at the user's own risk. The Tazewell County GIS assumes no responsibility for any use of the information contained herein and disclaims any liability for any errors or omissions. Users of Tazewell County GIS assume all risk and liability when accessing any information linked to this site. All data is subject to change.





WEIGHT: 2200 LBS
AREA: 417 SQ FT
PERIMETER: 101 FT
VOLUME: 11400 GAL

GRAND MANHATTAN 028 - DIG PLAN			
SCALE 3/16"=1'-0"		DATE 05-19-17	
DRAWN BY KLB		REVISION 01	

ALL MEASUREMENTS AND QUANTITIES ARE BASED ON AVERAGES



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet June 21, 2023

Case V 2023-08

A variance request submitted by Heather & Ryan Thomas to reduce the side and rear yard setbacks at 229 Koch St. Said property is zoned RM-4 Multiple Family Residential and with a legal description, SEC 3 T24N R5W ROSEDALE ADDN LOT 280 SW 1/4, with the following PIN: 04-10-03-322-013, in Tazewell County, Illinois.

SUMMARY

The applicant wishes to build a 24 ft x 24 ft garage in their rear yard and they would not have sufficient room to build a garage based off the current side yard and rear yard setbacks. Property is zoned RM-2 which requires 15Ft side yard setbacks and 30Ft rear yard setback.

- Reduce west side yard setback to 3 feet which is 12 feet closer than the required minimum of 15 Feet listed for RM-2 Multi Family Residential in City Code section 4-3-7-1
- Reduce rear yard setback to 3 feet which is 27 feet closer than the required minimum of 30 Feet listed for RM-2 Multi Family Residential in City Code section 4-3-7-1

STAFF NOTES

The City Code will require that a concrete driveway be installed, City Code prohibits the expansion of existing gravel driveways or creation of new gravel driveways.

- Staff Recommends Approval.

COPY



23PEK. 200010

Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 - (309) 477-2300

Board of Appeals Application for Consideration

*Paid w/ card
5/24/23
[Signature]*

Type of Request (check one): ☐ A. Special Use (\$85) ☒ B. Residential Variance (\$85) ☐ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: <u>04.10.03.322.013</u>
	Current Zoning (if known): <u>RM-2</u>
	Proposed Zoning (if rezoning request): _____
	Current Use: _____
	Proposed Use (if different): _____

Property Owner Name:	<u>Heather Ryan Thomas</u>
Mailing Address:	<u>229 Koch St.</u>
Phone:	<u>309 642 4313 (Ryan)</u>
Alternative Phone:	_____
E-Mail Address:	_____

Applicant Name (if different):	<u>paid with card in office</u>
Mailing Address:	_____
Phone:	_____
Alternative Phone:	_____
E-Mail Address:	<u>CaptinChris36@gmail.com</u>



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Please summarize your request and explain why it is necessary:

Variance for Garage (setbacks) on lot

SCOPE OF WORK: 24 x 30 x 10 garage - new stick Build

Remove existing shed / and carport

24 x 24 - modified - By Homeowner

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Ryan Thomas

Owner Signature

Date

CERTIFICATION BY THE APPLICANT (if different)

I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief.

Chris Thomas

Applicant Signature

5-22-23

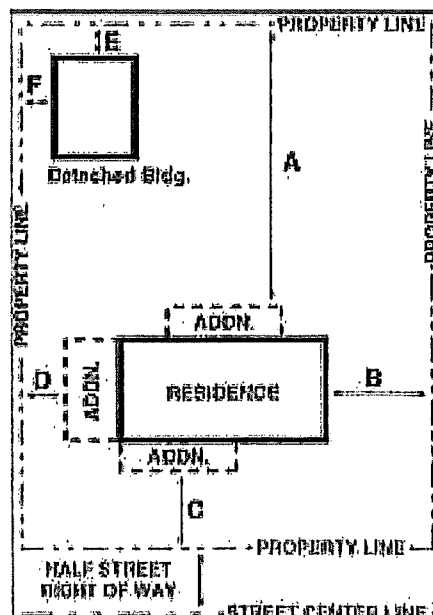
Date

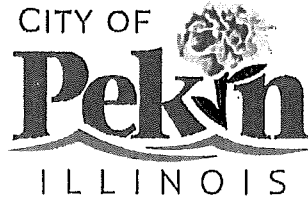


Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

The following attachments are required for consideration of your request:

- I. **Site Plan:** An electronic copy (preferred) or two physical copies of a site plan for the proposal showing:
1. A scale of not less than one inch equals fifty feet (1" = 50') if the subject property is less than three (3) acres and one inch equals one hundred feet (1" = 100') if three (3) acres or more. Date, north point and scale.
 2. The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties. The location of all existing and proposed structures on the subject property and all structures within one hundred feet (100') of the subject property. The location of all existing and proposed drives and parking areas. The location and right-of-way widths of all abutting streets and alleys.
 3. Attachments such as landscape plan, photograph or renderings of existing and proposed site, building layouts or elevations, etc. are commended in order to provide accurate and sufficient information for review by the Development Review Committee and consideration by the Plan Commission.
 4. The names, addresses, and phone numbers of the architect, planner, designer, engineer or person responsible for the preparation of the site plan (commercial projects only).





Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

II. Payment: Payment of the amount indicated on the first page to accompany your application. If making payment via check, please make payment payable to the "City of Pekin".

III. Variance: If requesting a variance, you must complete and attach this page to your application:

1. Variances are intended to relieve situations involving a hardship in meeting Zoning Code requirements. What is the hardship that this variance request is intended to relieve? Examples of hardships can include the topography of the lot, unique shape of the lot or other physical conditions that prevent the request from meeting the requirements of the Zoning Code.

Set backs for new Garage

2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

yes

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

No

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

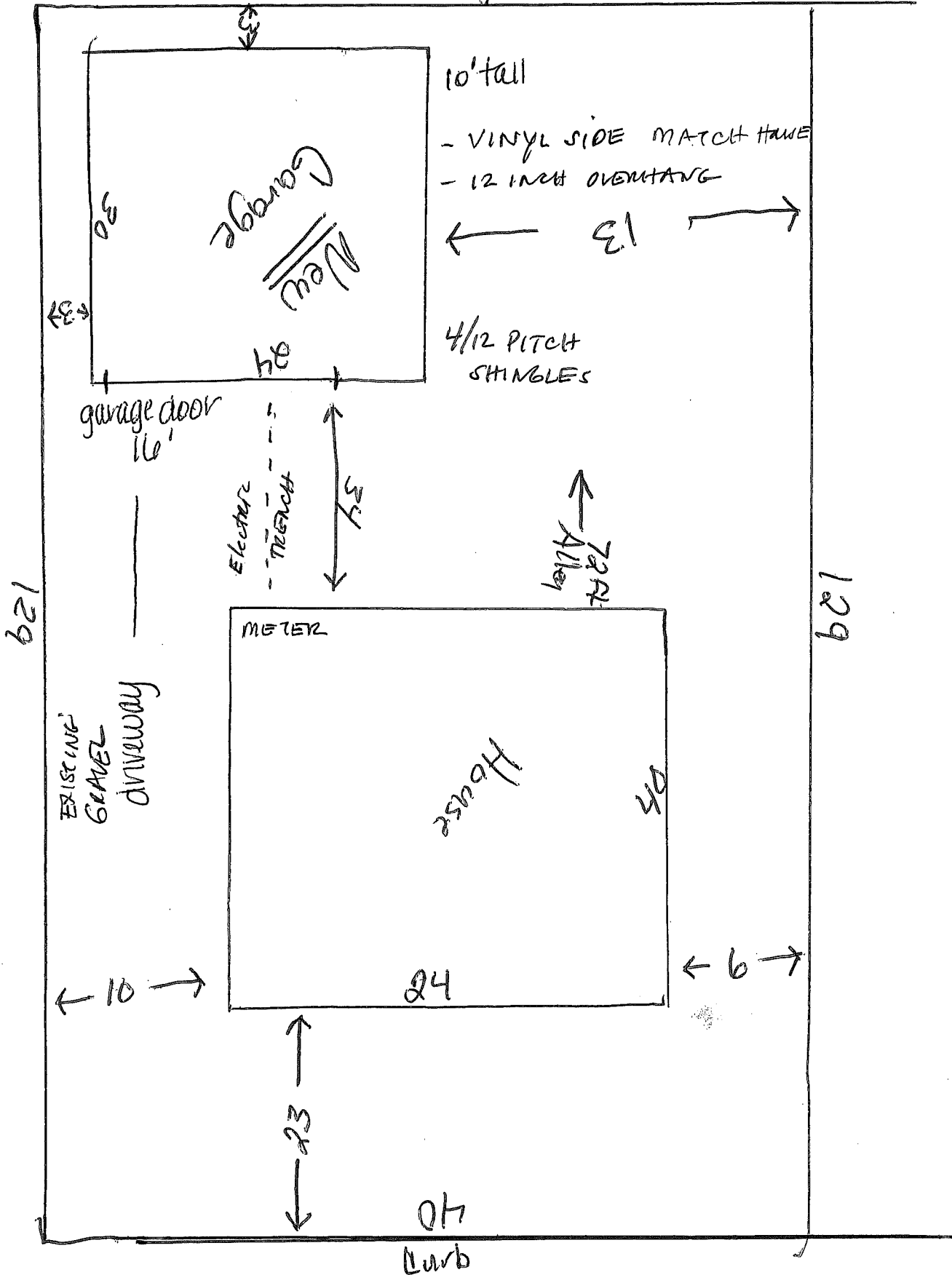
Correct

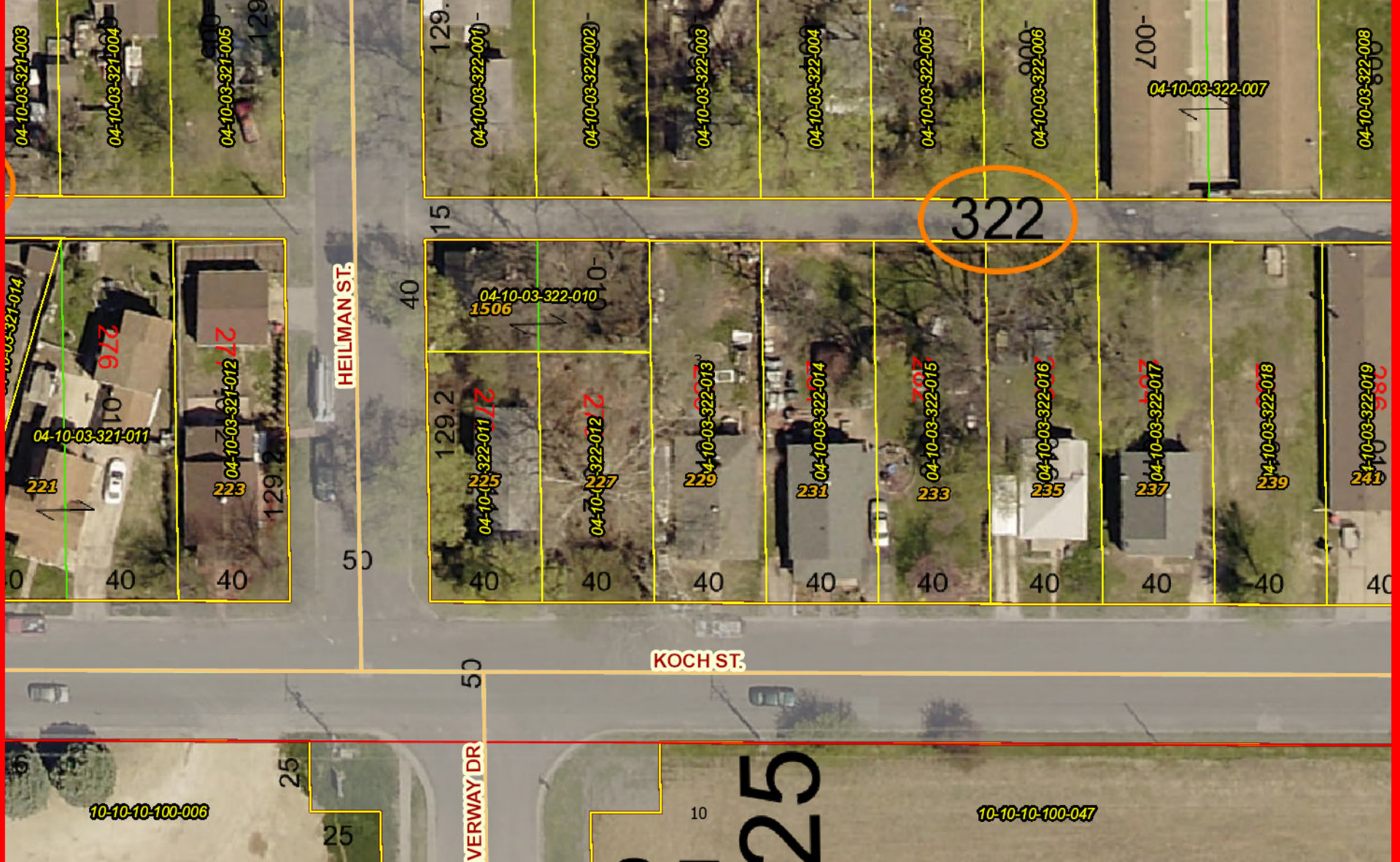
5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?

No

Ryan Thomas
229 Koch St.

Alley





 I-155
  IL 29
  US 24



The seal of Tazewell County, Illinois, is a circular emblem. It features a central illustration of a large, multi-story building, likely a government or institutional structure, with a flag flying from a pole in front. The text "TAZEVELL COUNTY" is arched across the top, "1827" is at the bottom, and "ILLINOIS" is written in a smaller arc below the year. Two small stars flank the central image.

Tazewell County, IL



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet

July 12, 2023

Case V 2023-09

A variance request submitted by Phil & Diana Cousineau for the property located at 1915 ½ Willow St. to reduce the west side yard setback from 5ft to 3ft to allow for a room addition to be built onto the rear of the residence. Said property is zoned R-3 One Family Residential and with a legal description, SEC 36 T25N R5W EAST WILLOW ADDN W 35' OF LOT 7 NW 1/4, with the following PIN: 04-04-36-112-037, in Tazewell County, Illinois.

SUMMARY

The Property is Zoned R-3 One Family Residential which requires a minimum side yard setback of 5 feet. The existing structure is roughly 3ft from the west side yard property line which is 2 feet closer than the minimum required side yard setback of 5 feet. The owner wishes to build on to the rear of the structure to add a bedroom as the current structure is too small to accommodate the families need. The addition as proposed would maintain a 4ft set back from the west side yard property line.

- Reduce the west side yard setback to 3 feet which is 2 feet closer than the required minimum of 5 feet listed for R-3 One Family Residential in City Code section 4-3-7-1. This would create a variance for the addition and for the current existing structure.

STAFF NOTES

- Staff Recommends Approval.



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Board of Appeals Application for Consideration

Type of Request (check one): ☐ A. Special Use (\$85) ☐ B. Residential Variance (\$85) ☒ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: <u>1915 1/2 willow st</u> Current Zoning (if known): <u>residential. R-3</u> Proposed Zoning (if rezoning request): _____ Current Use: <u>part time home</u> Proposed Use (if different): _____
--	---

Property Owner Name:	Phil + Diana Cousineau
Mailing Address:	23 Benton Dr Monroe city mo. 63456
Phone:	309 339 4376
Alternative Phone:	309 645 9512
E-Mail Address:	

Applicant Name (if different):	Revised 6/14/23
Mailing Address:	ph. 6/19/23
Phone:	234 EK. 200011
Alternative Phone:	ph. 411 1382
E-Mail Address:	



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Please summarize your request and explain why it is necessary:

Add on Bedroom
One room house is too small

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Phil Cowen

Owner Signature

6-14-23

Date

CERTIFICATION BY THE APPLICANT (if different)

I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief.

Applicant Signature

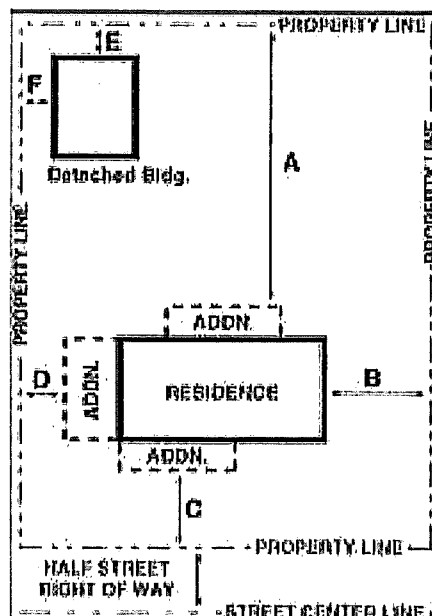
Date



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

The following attachments are required for consideration of your request:

- I. **Site Plan:** An electronic copy (preferred) or two physical copies of a site plan for the proposal showing:
1. A scale of not less than one inch equals fifty feet (1" = 50') if the subject property is less than three (3) acres and one inch equals one hundred feet (1" = 100') if three (3) acres or more. Date, north point and scale.
 2. The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties. The location of all existing and proposed structures on the subject property and all structures within one hundred feet (100') of the subject property. The location of all existing and proposed drives and parking areas. The location and right-of-way widths of all abutting streets and alleys.
 3. Attachments such as landscape plan, photograph or renderings of existing and proposed site, building layouts or elevations, etc. are commended in order to provide accurate and sufficient information for review by the Development Review Committee and consideration by the Plan Commission.
 4. The names, addresses, and phone numbers of the architect, planner, designer, engineer or person responsible for the preparation of the site plan (commercial projects only).





Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

II. Payment: Payment of the amount indicated on the first page to accompany your application. If making payment via check, please make payment payable to the "City of Pekin".

III. Variance: If requesting a variance, you must complete and attach this page to your application:

1. Variances are intended to relieve situations involving a hardship in meeting Zoning Code requirements. What is the hardship that this variance request is intended to relieve? Examples of hardships can include the topography of the lot, unique shape of the lot or other physical conditions that prevent the request from meeting the requirements of the Zoning Code.

Need more space

2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

yes

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

No

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

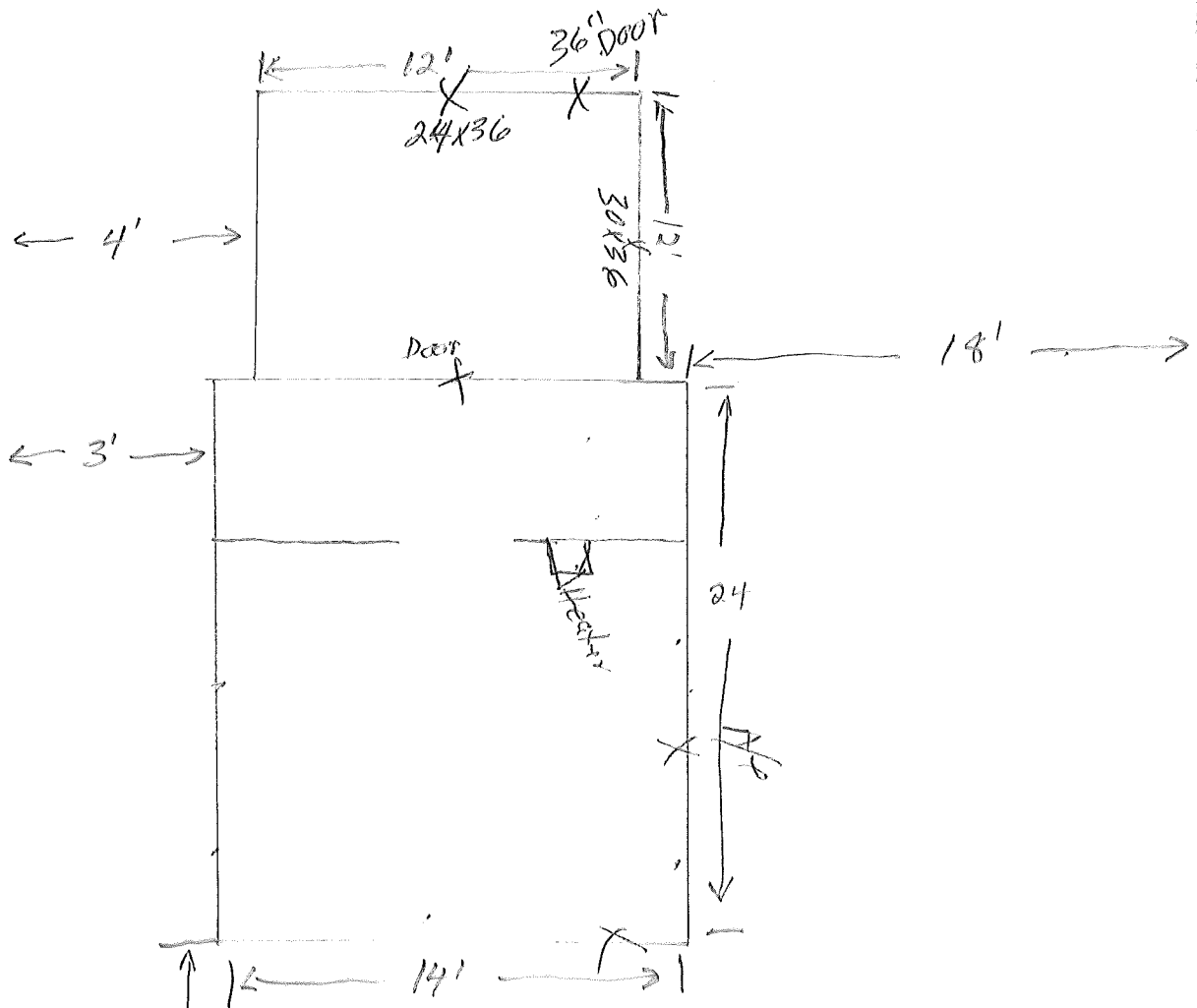
yes

5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?

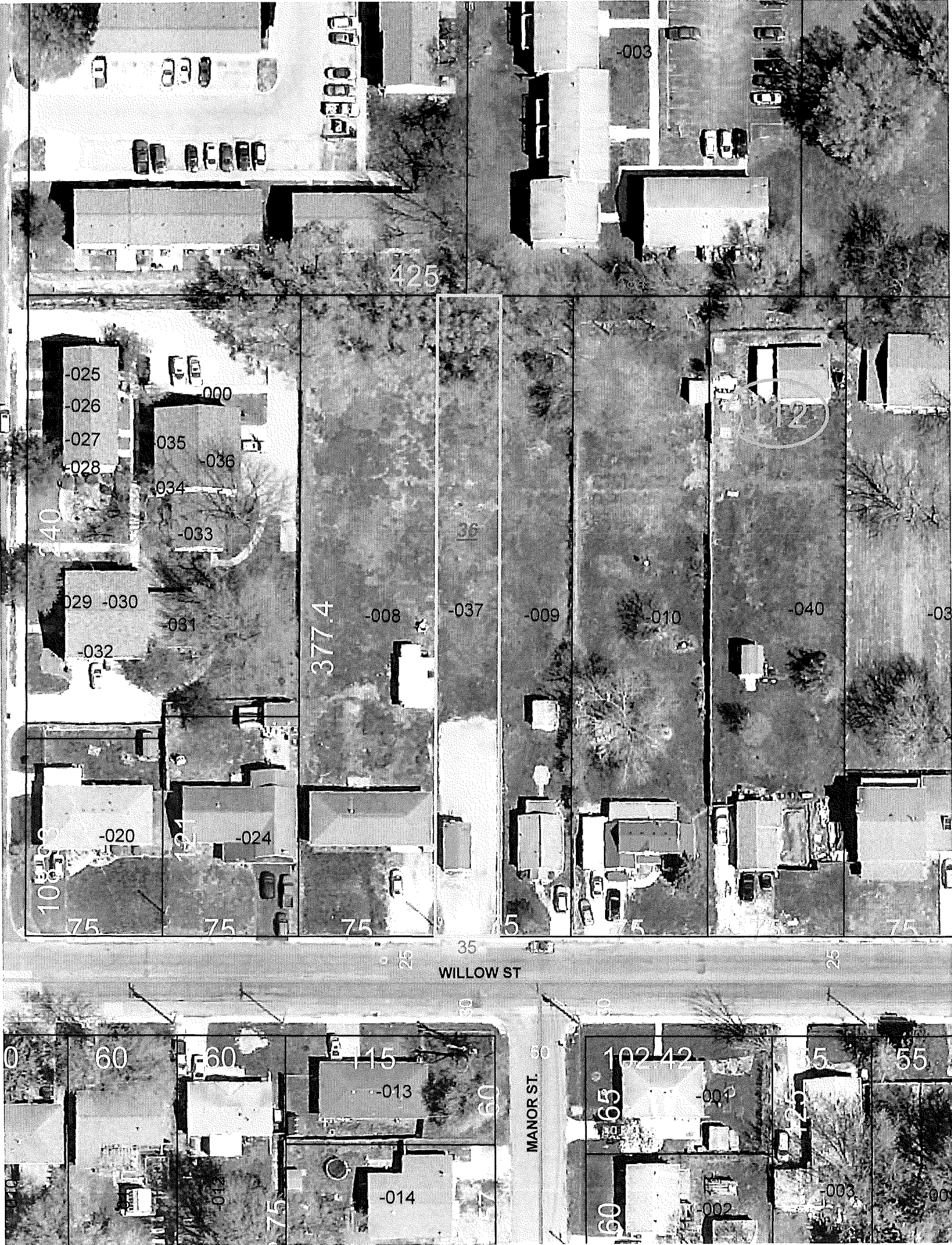
yes

Phil Cousineau 309 339 4376
1815 1/2 willow

377.4



side walk





Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet July 12, 2023

Case V 2023-10

A variance request submitted by Robert Morris to reduce the minimum required distance of 10ft that is required between the main building and the detached accessory building to 2ft at 1405 Henry St. Said property is zoned R-4 One Family Residential and with a legal description, SEC 2 T24N R5W STUCKEYS ASSESSMENT PLAT LOT 22 (50' X 60') SE 1/4, with the following PIN: 04-10-02-431-018, in Tazewell County, Illinois.

SUMMARY

The Property is Zoned R-4 One Family Residential. The existing detached garage was severely damaged by a tree that had fallen on it during a recent storm. The damage was severe and requires that the garage be demolished and rebuilt. The existing detached garage location is roughly 2 feet from the main building. The city code section 4-3-8-3-4 requires that all detached accessory buildings be a minimum of 10 feet from the main building. This variance would allow the property owner to rebuild this garage in its current location.

- Reduce the minimum required distance between a detached accessory building and the main building from 10 feet to 2 feet.

STAFF NOTES

- Staff Recommends Approval.



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Board of Appeals Application for Consideration

Type of Request (check one): ☐ A. Special Use (\$85) ☒ B. Residential Variance (\$85) ☐ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: <u>1405 HENRY</u> Current Zoning (if known): <u>R-4</u> Proposed Zoning (if rezoning request): _____ Current Use: <u>SINGLE FAMILY HOME / GARAGE</u> Proposed Use (if different): _____
--	---

Property Owner Name:	
Mailing Address:	<u>ROBERT MORRIS</u>
Phone:	<u>6616 NORTH KRAMM</u>
Alternative Phone:	<u>BUMFIELD, IL 61517</u>
E-Mail Address:	<u>309.360.6921 / MORRISHEATING@GMAIL.COM</u>

Applicant Name (if different):	<u>BOB STARR</u> <u>23 PEK. Z00C12</u>
Mailing Address:	<u>pd. w/ clerk</u> <u>2046</u>
Phone:	<u>309.241.7827 (cell)</u>
Alternative Phone:	
E-Mail Address:	<u>BOBSTARR777@GMAIL.COM</u>



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Please summarize your request and explain why it is necessary:

Storm dropped a tree on a 12x24
Storage building. This is not attached and
needs to be rebuilt on existing slab. The
property is small and there is not enough
room to relocate the building.

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Owner Signature

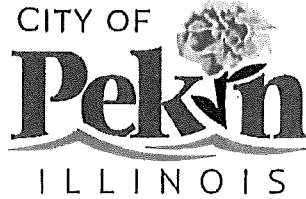
Date

CERTIFICATION BY THE APPLICANT (if different)

I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief.

Bol S
Applicant Signature

6/20/23
Date



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

II. Payment: Payment of the amount indicated on the first page to accompany your application. If making payment via check, please make payment payable to the "City of Pekin".

III. Variance: If requesting a variance, you must complete and attach this page to your application:

1. Variances are intended to relieve situations involving a hardship in meeting Zoning Code requirements. What is the hardship that this variance request is intended to relieve? Examples of hardships can include the topography of the lot, unique shape of the lot or other physical conditions that prevent the request from meeting the requirements of the Zoning Code.

existing slab for garage, and not enough room to
relocate the storage. (12' garage used as storage)

2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

Act of God. Storm dropped a tree on the
storage building.

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

The building has existed for years and
will NOT negatively impact other property

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

garage to match the single family home

5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?

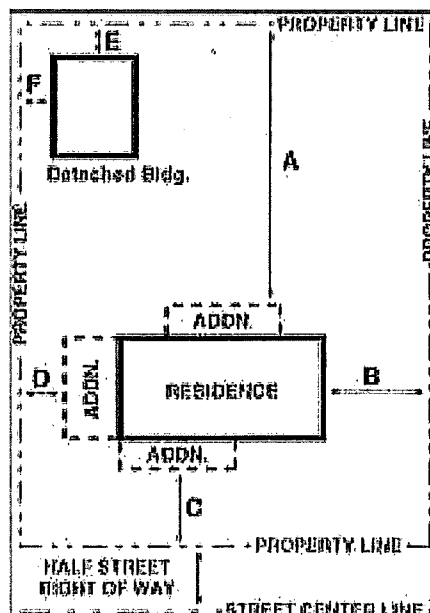
Yes. Bringing the building back to intended use.



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

The following attachments are required for consideration of your request:

- I. **Site Plan:** An electronic copy (preferred) or two physical copies of a site plan for the proposal showing:
1. A scale of not less than one inch equals fifty feet ($1" = 50'$) if the subject property is less than three (3) acres and one inch equals one hundred feet ($1" = 100'$) if three (3) acres or more. Date, north point and scale.
 2. The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties. The location of all existing and proposed structures on the subject property and all structures within one hundred feet (100') of the subject property. The location of all existing and proposed drives and parking areas. The location and right-of-way widths of all abutting streets and alleys.
 3. Attachments such as landscape plan, photograph or renderings of existing and proposed site, building layouts or elevations, etc. are commended in order to provide accurate and sufficient information for review by the Development Review Committee and consideration by the Plan Commission.
 4. The names, addresses, and phone numbers of the architect, planner, designer, engineer or person responsible for the preparation of the site plan (commercial projects only).



Owner - Robert Morris

Contractor - Bob Starr
(309) 241-7827
Personal Cell

Basic 12'x24' half garage
for Storage.

Job Address - 1405 Henry St.
Pekin, IL

* Building is 12'x24'

4/12

1/2 OSB Sheeting under
Arc. Asphalt Shingle

ordered truss system
4/12 pitch.

12" overhang with
Aluminum soffit and
fascia cover

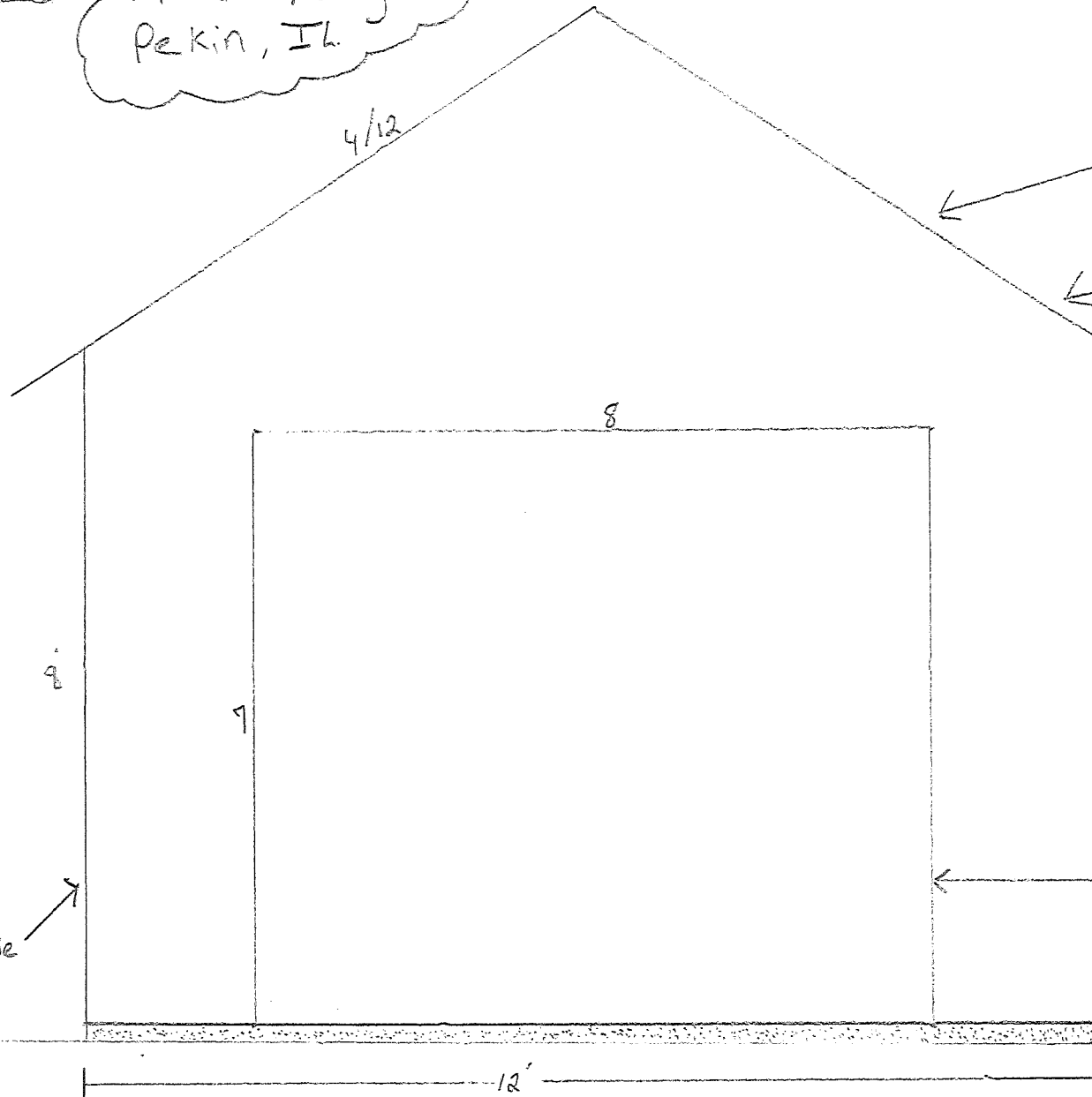
* steel man door
in the back

2x4x8 wall 16" on
center with treated
bottom plate and double
top plates.

* Standard 7x8 garage door

* Existing Concrete
Slab. Anchor every
6' and seams

1/2 OSB
under Vyl.
Siding to
match house

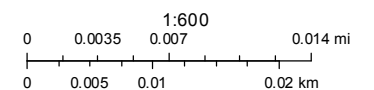


Tazewell County GIS



Site Address	I-474	IL 98	Streets
TaxParcels	I-74	US 150	
I-155	IL 29	US 24	

Tazewell County GIS parcel and map records contained herein are for property tax purposes only. This information has been compiled from the most accurate source data from the public records of Tazewell County. This information must be accepted and used with the understanding that the data was collected primarily for the use and purpose of creating a Property Tax Roll per Illinois Statute. The information contained herein is for reference purposes only, and should not be relied upon as a substitute for a title search. Any reliance on the information contained herein is at the user's own risk. The Tazewell County GIS assumes no responsibility for any use of the information contained herein or any loss resulting therefrom. Users of Tazewell County GIS site assume all risk and liability when accessing any third-party site linked to this site. All data is subject to change.



Tazewell County GIS

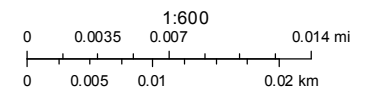


Site Address I-474 IL 98 Streets

TaxParcels I-74 US 150

I-155 IL 29 US 24

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Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet July 12, 2023

Case V 2023-11

A variance request submitted by Gale Credit Union to reduce the minimum required property line setback of 10ft to a zero-property line setback on the northwest property line at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

SUMMARY

The Property is Zoned B-3 General Business. City code section 4-3-7-1 requires that a property line setback of 10 feet be maintained on all sides of the property in the B-3 district. Gale Credit Union wishes to construct a drive-through bank teller. Due to the site constraints their design professionals have recommended that the drive-through teller be constructed at the edge of their parking lot. This drive-through teller will have a roof structure that will extend over the parking lot and will connect to the main building.

- Reduce the minimum required setback of 10 feet to zero feet on the northwest property line to allow for the drive-through construction.

STAFF NOTES

- Staff Recommends Approval.



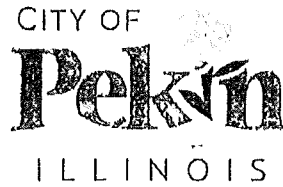
Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Board of Appeals Application for Consideration

Type of Request (check one): ☐ A. Special Use (\$85) ☐ B. Residential Variance (\$85) ☒ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: 2990 Court St Current Zoning (if known): B-3 Proposed Zoning (if rezoning request): Current Use: Realtor Proposed Use (if different): Bank
--	--

Property Owner Name:	Gale Credit Union
Mailing Address:	631 N Henderson St, Galesburg, IL 61401
Phone:	309-343-1777
Alternative Phone:	
E-Mail Address:	gcu@galecu.net

Applicant Name (if different):	Received 6/20/23
Mailing Address:	23 PEK. 200014
Phone:	CH# 105276
Alternative Phone:	
E-Mail Address:	



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Please summarize your request and explain why it is necessary:

The location of the canopy structure will be close to the edge of the lot, however there is not a better spot for it in the lot as otherwise it would be too close to the existing building.

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Owner Signature

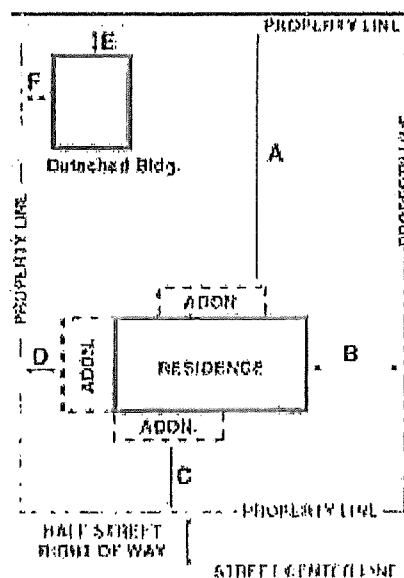
Date

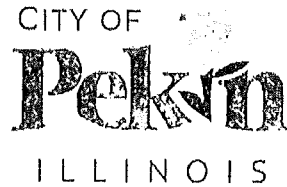
CERTIFICATION BY THE APPLICANT (if different)

I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief.

Applicant Signature

Date





Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

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III. Variance: If requesting a variance, you must complete and attach this page to your application:

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Unique shape of lot.

2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

No

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

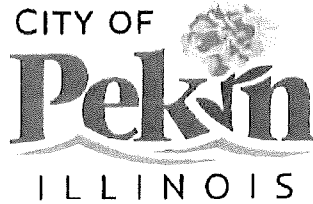
No

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

Yes

5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?

Yes



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

Board of Appeals Application for Consideration

Type of Request (check one): ☒ A. Special Use (\$85) ☐ B. Residential Variance (\$85) ☐ C. Non-Residential Variance (\$85) ☐ D. Map Amendment/Rezoning (\$75) ☐ E. Annexation (\$75)	Request Property Address or PIN: 2990 Court St
	Current Zoning (if known): B-3
	Proposed Zoning (if rezoning request): _____
	Current Use: Realtor
	Proposed Use (if different): Bank - Drive Thur

Property Owner Name:	Gale Credit Union
Mailing Address:	631 N Henderson St, Galesburg, IL 61401
Phone:	309 - 343 - 1777
Alternative Phone:	
E-Mail Address:	gcu@galecu.net

Applicant Name (if different):	Rec'd 6/20/23
Mailing Address:	23PEK. 200013
Phone:	ck # 105275
Alternative Phone:	
E-Mail Address:	



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 - (309) 477-2300

Please summarize your request and explain why it is necessary:

For construction of a canopy structure to be used for
drive-up tubes to communicate with tellers as
well as a drive-up ATM.

CERTIFICATION BY PROPERTY OWNER

I certify that I am the owner of the property, which is the subject of this request. I certify that all the information contained in this application form or any attachments, documents, or plans submitted herewith are true to the best of my knowledge and belief. If an applicant is signing below, that applicant has received my approval to proceed with this request.

Owner Signature

Date

CERTIFICATION BY THE APPLICANT (if different)

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Applicant Signature

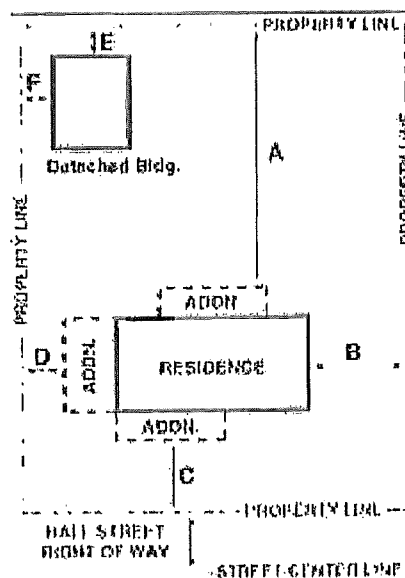
Date



Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 -- (309) 477-2300

The following attachments are required for consideration of your request:

- I. **Site Plan:** An electronic copy (preferred) or two physical copies of a site plan for the proposal showing:
 1. A scale of not less than one inch equals fifty feet (1" = 50') if the subject property is less than three (3) acres and one inch equals one hundred feet (1" = 100') if three (3) acres or more. Date, north point and scale.
 2. The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties. The location of all existing and proposed structures on the subject property and all structures within one hundred feet (100') of the subject property. The location of all existing and proposed drives and parking areas. The location and right-of-way widths of all abutting streets and alleys.
 3. Attachments such as landscape plan, photograph or renderings of existing and proposed site, building layouts or elevations, etc. are commended in order to provide accurate and sufficient information for review by the Development Review Committee and consideration by the Plan Commission.
 4. The names, addresses, and phone numbers of the architect, planner, designer, engineer or person responsible for the preparation of the site plan (commercial projects only).





Planning and Zoning Department
111 S. Capitol Street, Pekin, Illinois 61554 – (309) 477-2300

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2. Is the variance needed due to special and unique circumstances not caused by the applicant's or owner's own actions?

3. Should the request be approved, will the variance negatively impact adjoining properties in any way?

4. Will the variance be consistent with the purpose and intent of the Zoning Code and not alter the essential character of the locality?

5. Does the benefit(s) of granting the variance outweighs any anticipated negative impacts to the surrounding properties (if any)?



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet July 12, 2023

Case SU 2023-02

A Special Use request submitted by Gale Credit Union to allow for the construction and use of a drive-through bank teller at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

SUMMARY

The Property is Zoned B-3 General Business. City code section 4-3-6-5-3-2 requires that all business in the character of a drive-through obtain a special use. Gale Credit Union wishes to construct a drive-through bank teller to offer more convenient options for their customers.

- Grant a Special Use request for a drive-through bank teller

STAFF NOTES

- Staff Recommends Approval.



Nic Maquet
111 S. Capitol Street
Community Development
Pekin, Illinois 61554
Nmaquet@ci.pekin.il.us
(309) 478-5370

Zoning Board of Appeals Review Sheet

July 12, 2023

Case SPR 2023-02

A site plan review has been submitted by Gale Credit Union to allow for the construction of a drive-through bank teller at 2990 Court St. Said property is zoned B-3 General Business and with a legal description, SEC 12 T24N R5W SUNSET HILLS EXT 10 LOT G OF LOT 1 NE 1/4, with the following PIN: 10-10-12-216-016, in Tazewell County, Illinois.

SUMMARY

The Property is Zoned B-3 General Business. A site plan has been submitted by Gale Credit Union. This site plan has been completed by a certified design professional. City code shall require a minimum of 17 parking spaces for this proposed project. The submitted site plan will allow for 22 parking spaces and 2 ADA compliant parking spaces with unloading areas. This site plan also proposes the addition of an ADA ramp to allow access from the newly constructed ADA parking spaces.

- 22 Parking spaces
- 2 ADA Compliant parking spaces with unloading areas
- Drive-through bank teller
- New sign to be installed in old signs location.

STAFF NOTES

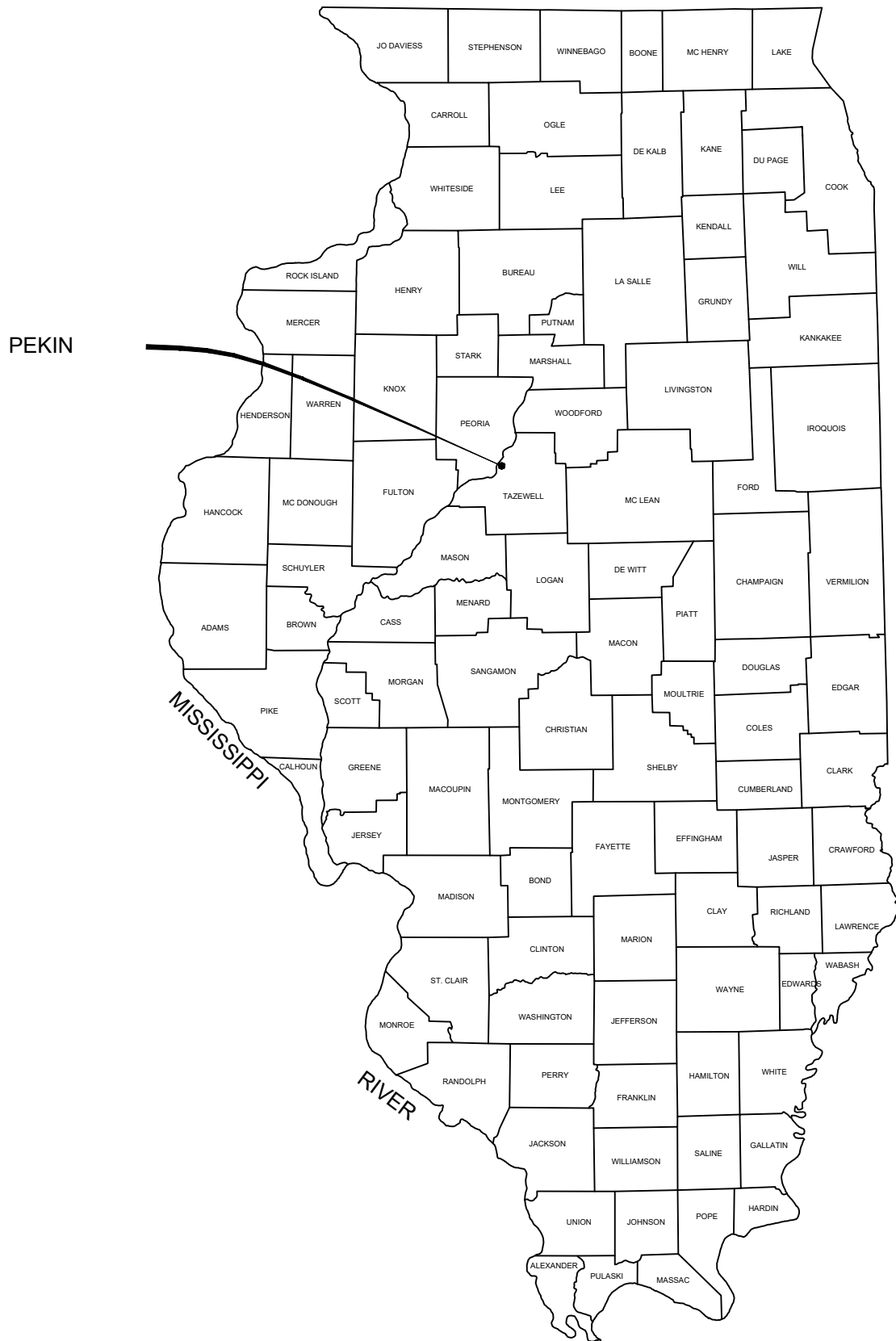
- Staff Recommends Approval.

CANOPY CHASE ADDITION GALE CREDIT UNION PEKIN, ILLINOIS

JUNE 2023

INDEX OF SHEETS

CS	COVER SHEET
C001	GENERAL NOTES AND LEGENDS
C002	SITE SPECIFICATIONS
C003	SITE SPECIFICATIONS
CD101	DEMOLITION PLAN
C101	SITE PLAN
C501	SITE DETAILS



PROJECT LOCATION

LOCATION MAP

N.T.S.

Mark C. Lee

MARK C. LEE
LICENSED PROFESSIONAL ENGINEER
STATE OF ILLINOIS NO. 062060864
LICENSE EXPIRES: 11/30/23

KLINGNER
& ASSOCIATES, P.C.
Engineers • Architects • Surveyors

Galesburg, Illinois
49 North Prairie St
309.342.4042
Quincy, IL Burlington, IA Pella, IA
Davenport, IA Hannibal, MO Columbia, MO

DESIGN FIRM NO. 184-2738

FULL SIZED PLANS HAVE BEEN PREPARED USING
STANDARD SCALES. REDUCED SIZED PLANS MAY NOT
CONFORM TO STANDARD SCALES. USE GRAPHIC SCALES
WHEN MAKING MEASUREMENTS ON REDUCED PLANS.

SHEET 1 OF 7 SHEETS

SEALING OF THESE PLANS DOES NOT RELEASE THE OWNER FROM
COMPLYING WITH APPLICABLE STATUTES AND WITH REGULATIONS OF
THE UNITED STATES, OF THE STATE OF ILLINOIS, OR WITH APPLICABLE
LOCAL LAWS, ORDINANCES AND REGULATIONS.



NOTE

UTILITY INFORMATION IS FOR THE CONVENIENCE
OF THE CONTRACTOR. BEFORE CONSTRUCTION
BEGINS THE CONTRACTOR SHALL CONTACT
J.U.L.I.E. AT 811 OR 1-800-892-0123 AND
INDIVIDUAL UTILITY COMPANIES NOT BELONGING
TO THE J.U.L.I.E. SYSTEM, FOR THE PRESENCE
AND LOCATION OF UTILITIES.

GENERAL NOTES

- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- ANY DISCREPANCIES BETWEEN SPECIFICATIONS, DRAWINGS, AND/OR SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL AREAS DESIGNATED TO REMAIN UNDISTURBED SHALL BE PROTECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE LOCATION OF ALL PROPOSED IMPROVEMENTS, INCLUDING ROUGH AND FINISHED ELEVATIONS AND ALL OTHER PROPOSED IMPROVEMENTS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE LOCAL, STATE, & FEDERAL CODES ARE FOLLOWED. ALL APPLICABLE LOCAL AND STATE NOTIFICATIONS AND PERMITS SHALL BE ACQUIRED PRIOR TO CONSTRUCTION, INCLUDING ALL NECESSARY UTILITY CONNECTION PERMITS FROM THE RESPECTIVE UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND SERVICES REQUIRED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL REFERENCE POINTS, BENCHMARKS, MONUMENTS, STAKES, AND PROPERTY CORNERS DURING CONSTRUCTION. REPLACEMENT OF LOST REFERENCE POINTS SHALL BE AT THE CONTRACTORS EXPENSE.
- REMOVE ALL STRUCTURES, FOUNDATIONS, WALLS, PAVEMENTS, AND ALL OTHER ITEMS IN CONFLICT WITH PROPOSED IMPROVEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS.
- REFERENCES TO "STANDARD SPECIFICATIONS" SHALL MEAN THE ILLINOIS DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT OWNER APPROVAL.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, AND THE PROJECT SITE SHALL BE KEPT CLEAN AT ALL TIMES. CONTROL DUST IN AND AROUND ALL WORK AND STAGING AREAS.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- IF A DISCREPANCY IN THE SPOT ELEVATIONS IS NOTED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTING. IF THERE IS A DISCREPANCY BETWEEN THE SPOT ELEVATIONS AND CONTOURS, THE CONTOURS SHALL GOVERN.
- IF SOIL OR GROUNDWATER IS ENCOUNTERED WHICH EMITS A PETROLEUM ODOR OR IS DISCOLORED THE CONTRACTOR SHALL STOP EXCAVATION AND NOTIFY THE OWNER IMMEDIATELY. THE OWNER WILL COORDINATE ENVIRONMENTAL EFFORTS TO HANDLE THE IMPACTED SOIL OR GROUNDWATER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO ENSURE PUBLIC AND EMPLOYEE SAFETY.

BITUMINOUS MATERIALS (FOG SEAL) NOTES

- MATERIAL FOR THE FOG SEAL SHALL BE ONE OF THE BITUMINOUS MATERIALS LISTED BELOW AND SHALL BE ACCORDING TO THE FOLLOWING:
 - SS-1H. THE SS-1H SHALL BE ACCORDING TO ARTICLE 1032.06(A). THE SS-1H SHALL BE DILUTED AT A RATE OF ONE PART EMULSION TO ONE PART WATER. THE DILUTED EMULSION SHALL MEET A DISTILLATION RESIDUE OF AT LEAST 29 PERCENT.
 - CSS-1H. THE CSS-1H SHALL BE ACCORDING TO ARTICLE 1032.06(B). THE CSS-1H SHALL BE DILUTED AT A RATE OF ONE PART EMULSION TO ONE PART WATER. THE DILUTED EMULSION SHALL MEET A DISTILLATION RESIDUE OF AT LEAST 29 PERCENT. DILUTION OF THE EMULSION SHALL BE PERFORMED AT THE PLACE OF MANUFACTURE. THE DILUTED EMULSIFIED ASPHALT SHALL BE THOROUGHLY AGITATED WITHIN 24 HOURS OF APPLICATION AND SHOW NO SEPARATION OF WATER AND EMULSION.
- EQUIPMENT SHALL BE ACCORDING TO THE FOLLOWING.
 - DISTRIBUTOR. THE DISTRIBUTOR SHALL BE ACCORDING TO ARTICLE 1102.05.
 - MECHANICAL SWEEPER. THE MECHANICAL SWEEPER SHALL BE ACCORDING TO ARTICLE 1101.03.
- BITUMINOUS MATERIALS SHALL BE APPLIED ONLY WHEN THE PAVEMENT AND AIR TEMPERATURES ARE 60 °F (15 °C) AND RISING. FOG SEAL OPERATIONS SHALL BE PERFORMED ONLY DURING DAYLIGHT HOURS AND NOT DURING FOGGY WEATHER. THE ROAD SURFACE MAY BE DAMP BUT SHALL BE FREE OF STANDING WATER.
- THE PAVEMENT SURFACE SHALL BE PREPARED ACCORDING TO ARTICLE 358.05 BEFORE APPLYING THE FOG SEAL. NON-BITUMINOUS SURFACES SHALL BE COVERED TO PREVENT ADHERENCE OF THE BITUMINOUS MATERIAL. THE PROTECTIVE COVERINGS SHALL BE REMOVED BEFORE OPENING TO TRAFFIC.
- THE TEMPERATURE OF THE BITUMINOUS MATERIAL SHALL BE AS SPECIFIED IN ARTICLE 1032.04. THE BITUMINOUS MATERIAL SHALL BE APPLIED UNIFORMLY AND AT A 0.05 LBS/SQUARE FOOT RESIDUAL ASPHALT RATE ON THE PREPARED SURFACE. THE CONTRACTOR SHALL DEMONSTRATE THE APPLICATION WILL PRODUCE 100 PERCENT COVERAGE OF THE SURFACE AFTER CURING. IF THE APPLICATION DEMONSTRATION DOES NOT MEET THE COVERAGE REQUIREMENTS, THE SPRAY PATTERN SHALL BE ADJUSTED UNTIL APPROVED BY THE ENGINEER. THE BITUMINOUS MATERIAL SHALL BE APPLIED IN A MANNER TO MINIMIZE THE AMOUNT OF OVERSPRAY.
- THE TREATED SURFACE SHALL NOT BE OPENED TO TRAFFIC UNTIL THE BITUMINOUS MATERIAL HAS SET AND WILL NOT PICK UP ON VEHICLE TIRES.
- THIS WORK SHALL BE MEASURED FOR PAYMENT IN POUNDS OF RESIDUAL ASPHALT. A WEIGHT TICKET FOR EACH TRUCK LOAD SHALL BE FURNISHED TO THE INSPECTOR. THE TRUCK SHALL BE WEIGHED AT A LOCATION APPROVED BY THE ENGINEER. THE TICKET SHALL SHOW THE WEIGHT OF THE EMPTY TRUCK (THE TRUCK BEING WEIGHED EACH TIME BEFORE IT IS LOADED), THE WEIGHT OF THE LOADED TRUCK, AND THE NET WEIGHT OF THE BITUMINOUS MATERIAL. THE PERCENTAGE OF ASPHALT RESIDUE OF THE ACTUAL CERTIFIED PRODUCT SHALL BE SHOWN ON THE PRODUCER'S BILL OF LADING OR ATTACHED CERTIFICATE OF ANALYSIS. THE WEIGHT OF EXTRA WATER ADDED TO DILUTE THE EMULSION SHALL ALSO BE SHOWN ON THE BILL OF LADING. PAYMENT WILL NOT BE MADE FOR THE BITUMINOUS MATERIAL IN EXCESS OF 105 PERCENT OF THE AMOUNT SPECIFIED BY THE ENGINEER.
- THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER POUND OF RESIDUAL ASPHALT APPLIED FOR BITUMINOUS MATERIALS (FOG SEAL) AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

UTILITY NOTES

- THE LOCATION OF EXISTING UTILITIES IN CONSTRUCTION AREAS SHALL BE FIELD VERIFIED BY THE CONTRACTOR BY CONTACTING J.U.L.I.E. AT 1-800-892-0123 OR THE INDIVIDUAL UTILITIES NOT PARTICIPATING IN THE J.U.L.I.E. SYSTEM. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED. ANY REPAIR OR RELOCATION REQUIRED, AS A RESULT OF DAMAGE BY CONSTRUCTION ACTIVITIES SHALL BE AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL PAY UTILITY PERMIT AND/OR INSPECTION FEES.
- UTILITY TRENCHES WITHIN PAVEMENT AREAS SHALL BE BACKFILLED WITH APPROVED COMPACTED GRANULAR BACKFILL.
- ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE, CURRENT VERSION.
- ALL ELECTRIC SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, CURRENT VERSION.
- MINIMUM BURIAL DEPTH FOR WATER MAINS SHALL BE 4'-6" TO THE TOP OF PIPE.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.

UTILITY INFORMATION:	
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J.U.L.I.E. -- 811 OR 1-800-892-0123	
WATER -- ILLINOIS-AMERICAN WATER CO 328 BROADWAY ST, PEKIN, IL 61554 GENERAL (309) 346-2172	ELECTRIC & GAS -- AMEREN 300 LIBERTY ST, PEORIA, IL 61602 GENERAL (800) 755-5000
SEWER -- PEKIN CITY WASTE WATER DIVISION 111 S CAPITOL ST, PEKIN, IL 61554 GENERAL (309) 477-2392	TELEPHONE -- CENTURYLINK 416 MARGARET ST, PEKIN, IL 61554 GENERAL (309) 345-5376
	CABLE -- COMCAST COMMUNICATIONS 426 W WASHINGTON ST, PEKIN, IL 61611 GENERAL (800) 934-6489

CITY OF PEKIN 111 S CAPITOL ST PEKIN, IL 61554 SITE PLAN REVIEW INFORMATION	
PROPERTY OWNERSHIP & ZONING REQUIREMENTS	
OWNER NAME: PROJECT LOCATION:	GALE CREDIT UNION 2099 W. COURT STREET
PROPERTY ZONING CLASSIFICATION:	B-3 (COMMERCIAL)
PARKING SPOTS REQUIRED:	1 PER 200 SF USABLE = 17 SPACES MIN.
MAX. BLDG. HEIGHT ALLOWED:	100'

NOTE	
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ABBREVIATIONS		EXISTING	PROPOSED
FL	FLOWLINE ELEVATION		
TC	TOP OF CURB ELEVATION		
GL	GUTTER LINE ELEVATION		
TG	TOP OF GRATE ELEVATION		
STA	STATION		
FES	FLARED END SECTION		
SWI	STORM WATER INLET		
HP	HIGH POINT		
LP	LOW POINT		
TW	TOP OF WALL ELEVATION		
BW	BOTTOM OF WALL ELEVATION		
DS	DOWNSPOUT		
G	GROUND ELEVATION		
M	MATCH EXISTING ELEVATION		
SW	TOP OF SIDEWALK ELEVATION		
GR	TOP OF GRAVEL ELEVATION		
FF	FINISHED FLOOR ELEVATION		
TP	TOP OF PAVEMENT ELEVATION		
EP	EDGE OF PAVEMENT ELEVATION		
			PROPERTY LINE
			LOT LINE
			RIGHT OF WAY LINE
			CENTERLINE
			EASEMENT
			BUILDING SETBACK
			CONSTRUCTION LIMITS
			FENCE LINE
			CHAIN LINK FENCE
			FENCE W/ SQUARE POSTS
			STREAM
			STRUCTURE
			PAVEMENT MARKINGS
			EDGE OF PAVEMENT
			CURB AND GUTTER
			RAILROAD TRACKS
			WATER LINE
			FIRE PROTECTION
			GAS LINE
			OVERHEAD ELECTRIC
			UNDERGROUND ELECTRIC
			OVERHEAD TELEPHONE
			UNDERGROUND TELEPHONE
			CABLE TELEVISION
			FIBER OPTIC
			COMMUNICATION LINE
			STORM SEWER
			SANITARY SEWER
			FORCE MAIN
			COMBINED SEWER
			IRRIGATION SYSTEM
			UTILITY TRAFFIC SIGN
			SIGN
			MANHOLE
			STORM WATER INLET
			CATCH BASIN
			CLEANOUT
			WATER VALVE
			FIRE HYDRANT
			POST INDICATOR VALVE
			WATER METER
			GAS VALVE
			GAS METER
			TELEPHONE PEDESTAL
			CABLE TV PEDESTAL
			ELECTRIC METER
			UTILITY POLE
			LIGHT STANDARD
			LIGHT POLE
			GUY WIRE
			SURVEY MARKER
			SUMMIT / HIGH POINT
			CONTOURS
			INDEX CONTOURS
			DIRECTION OF DRAINAGE
			SPOT ELEVATION
			DECIDUOUS SHRUB
			DECIDUOUS TREE
			CONIFEROUS SHRUB
			CONIFEROUS TREE

DESIGN FIRM NO. 184-2738

FULL SIZED PLANS HAVE BEEN PREPARED USING STANDARD SCALES. REDUCED SIZED PLANS MAY NOT CONFORM TO STANDARD SCALES. USE GRAPHIC SCALES WHEN MAKING MEASUREMENTS ON REDUCED PLANS.

LEGEND

KLINGNER & ASSOCIATES, P. C.

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REVISION HISTORY

MARK	DESCRIPTION	DATE	APPR

CANOPY CHASE ADDITION

GALE CREDIT UNION

2990 COURT ST

PEKIN, IL 61554

Non-Reduced Sheet Size: 22" x 34"
Full sized plans have been prepared using standard scales. Reduced size plans may not conform to standard scales.

DESIGNED	DRAWN
ZAC	ZAC
FIELD	FIELD BOOK
CHECKED	CHECK DATE
MCL	6/20/23
SHEET TITLE	

GENERAL NOTES AND LEGENDS

PROJECT NO.	23-3037
DRAWING ISSUED DATE:	6/20/23
SHEET	
C001	

AGGREGATE BASE COURSES
PART - 1 GENERAL
1.1 SUMMARY
A. Provide aggregate base courses on a prepared subbase where shown on the Drawings, and as specified herein.
1.3 REFERENCES
A. Standard Specifications for Road and Bridge Construction, January 1, 2022, Illinois Department of Transportation (IDOT) herein noted as the Standard Specifications.
PART - 2 PRODUCTS
2.1 MATERIALS
A. Geotextile Fabric: Consisting of woven or non-woven filaments of polypropylene, polyester or polyethylene meeting the following minimums:
1. Grab tensile Strength (lbs): 200 ASTM D 4632.
2. Elongation (%): 15 ASTM D 4632.
3. Trapezoidal Tear Strength (lbs): 75 ASTM D 4533.
B. Geogrid Material
1. Tensar TX 140 and/or TX 160 - Geogrid or Equal
C. Aggregate Base Course:
1. Course Aggregate - CA-6 Type A or B.
PART - 3 EXECUTION
3.1 SUBGRADE PREPARATION
A. Subgrade preparation shall be in accordance with Section 3.6 Excavation and Fill of these specifications.
3.2 GEOTEXTILE FABRIC
A. Geotextile fabric when specified shall be placed on the prepared subbase prior to placement of the aggregate base course. Fabric of insufficient width or length to fully cover the specified area shall be lapped or sown. Minimum lap shall be 12" and minimum sewn lap shall be 4".
B. Placement of the base course on the fabric shall be accomplished in a manner as to prevent tearing or shoving of the material. Fabric damaged shall be repaired or replaced prior to placement of the base course.
3.3 GEOGRID
A. Geogrid when specified shall be placed on the prepared subbase prior to placement of the aggregate base course. When geogrid is used for stabilization, the aggregate base thickness shall be a minimum of six (6) inches thick in order to prevent it from popping through the aggregate base. Minimum lap shall be 12" or as specified by the manufacturer.
3.4 AGGREGATE PLACEMENT
A. General: The aggregate shall be uniform in gradation. The base course shall be constructed in layers not more than four (4) inches thick when compacted, except that if tests indicate that the desired results are being obtained, the compacted thickness of any layer may be increased to a maximum of eight (8) inches. When placed, it shall be free from segregation and shall require minimum blading or manipulation. Immediately after the material has been placed, it shall be compacted with a tamping roller, a vibratory machine or combination of the two.
B. Compaction: Before the aggregate is deposited on the subgrade, it shall contain the amount of moisture required for compaction. The granular material shall be compacted to not less than 98 percent of the Standard Laboratory Density, determined in accordance with ASTM D 698 (Standard Proctor). If test indicate that the base course does not comply with the density requirements, additional wetting, if necessary, and rolling will be required until the density is obtained. Moisture shall be added to the material during compaction only when it is necessary to increase the percentage of moisture to obtain the required density.
C. Staging: The aggregate base shall initially be placed and compacted to 90% of the design thickness shown on the Drawings. The remaining 10% of the aggregate base and final finishing shall be completed after the curbs and driveways are installed. The final surface shall be within + or - 0.5".
D. Proof roll: After the Contractor has finish graded the base course, the rock base shall be "proof rolled" with a minimum 25 ton gross vehicle weight (G.V.W.) truck to identify areas of soft or unstable subgrade. Permanent rutting in excess of 1" should be considered failure. Elastic (rebound) movement or rutting in excess of 1" with substantial cracking or substantial lateral movement should be considered failure. Rutting and cracking greater than detailed above is considered "pronounced elasticity." Elastic, rebound, or rolling movement is always associated with excess water in the subgrade system. Failing areas detected by proofrolling should be immediately repaired and retested or removed and replaced with suitable material.
E. Flatness: Maximum variation of 1/2 inch measured with 10-foot straight edge.
3.5 FIELD QUALITY CONTROL
A. The Contractor will provide testing services of a soils engineer and/or independent laboratory for this project.
B. Upon completion of each test and/or inspection, promptly distribute copies of test or inspection reports to the City for approval. Do not install concrete pavement until aggregate base approval is provided by the City.
C. Testing Requirements:
1. Determine moisture-density relationships by ASTM D 698 (Standard Proctor). Perform at least one test for each type of material used.
2. Provide not less 98% of maximum density of material compacted at optimum moisture content between ±3% of optimal for the actual density of each layer of material in place.
3. Field density/moisture tests (ASTM D 6938):
Aggregate Base: 1 per 100 ft of roadway per 8" lift.
4. Demonstrate using a string-line at 100 linear foot intervals that the minimum thickness of the base rock for the street is being provided.

PORTLAND CEMENT CONCRETE SITE WORK

PART 1. GENERAL
1.1 SUMMARY
A. Provide P.C. concrete pavement. Provide cast-in-place concrete, including formwork and reinforcement, where shown on the Drawings, and as specified herein.
1.2 SUBMITTALS
A. If requested by the Engineer/Architect (A/E), within 15 calendar days after the Contractor has received the Owner's Notice Award, submit:
1. PC Concrete Mix Designs
1.3 REFERENCES
A. Standard Specifications for Road and Bridge Construction, January 1, 2022, Illinois Department of Transportation (IDOT) herein noted as the Standard Specifications.
PART 2. MATERIALS
2.1 Reinforcement shall comply with the following minimums:
a. Bars: ASTM A615, unless otherwise noted on the Drawings, using deformed bars for #3 and larger.
b. Welded Wire Fabric: ASTM A185
c. Bending: ACI 318
2.2 Concrete used shall be in accordance with Class SI mix designs as set forth in the Standard Specifications for Road and Bridge Construction, Illinois Department of Transportation, 2022.
a. Slump shall be 4" or less.
b. Air percentage shall be 6% ±1.5%
PART 3. EXECUTION
3.1 SUBGRADE PREPARATION
A. Subgrade preparation shall be in accordance with Section 3.6 Excavation and Fill of these specifications.
B. Geotextile Fabric, Geogrid and Aggregate Base shall be in accordance with Section Aggregate Base Courses of these specifications.
3.2 PORTLAND CEMENT CONCRETE PAVING
A. The PC Concrete paving, sidewalk, curb and structures shall in general be constructed in compliance with Section 420 as specified herein:
1. Comply with Articles:
B. All exposed walls shall be rubbed with an abrasive stone to remove roughness and one part portland cement and 1 1/2 parts fine sand grout shall be applied uniformly to the surface.
3.4 PAVEMENT MARKINGS
A. Concrete pavement shall cured a minimum of 28 days and be dry before starting pavement marking.
B. Sweep and clean surface to eliminate loose material and dust. Remove any oil or grease.
C. Apply paint with mechanical equipment to produce pavement markings of dimensions indicated with uniform, straight edges. Apply at manufacturer's recommended rates to provide a minimum wet film thickness of 16 mils.
D. Paint shall not be applied at air temperatures below 40 degrees F.
3.5 FIELD QUALITY CONTROL
A. The Contractor shall provide testing services of a soils engineer and/or independent laboratory for this project.
B. Upon completion of each test and/or inspection, promptly distribute copies of test or inspection reports to the City for approval.
C. Testing of composite samples of fresh concrete obtained according to ASTM C 172 shall be performed according to the following requirements:
1. Testing Frequency: Obtain one composite sample for every 10 cu. yd. placed, plus one set for each additional 50 cu. yd. placed on the same day.
2. Slump: ASTM C 143/C 143M; one test at point of placement for each composite sample of each concrete mixture. Perform additional tests when concrete consistency appears to change.
3. Air Content: ASTM C 231, pressure method, for normal-weight concrete; ASTM C 173/C 173M, volumetric method, for structural lightweight concrete; one test for each composite sample of each concrete mixture.
4. Concrete Temperature: ASTM C 1064/C 1064M; one test per truck when air temperature is 35 deg F and below and when 85 deg F and above.
5. Unit Weight: ASTM C 567, fresh unit weight of structural lightweight concrete; one test for each composite sample of each concrete mixture.
6. Compression Test Specimens: ASTM C 31/C 31M..
a. Cast and laboratory cure one set of five (5) standard 4" x 8" cylinder specimens for each composite sample.
b. Cast and field cure one additional standard cylinder specimen for each composite sample for cold or hot weather concrete.
7. Compressive-Strength Tests: ASTM C 39/C 39M.
a. Cylinders (4" x 8") taken: test one (1) of five (5) laboratory-cured specimens at 7 days and one (1) set of three (3) specimens at 14 days. The fifth specimen will be a hold to serve as a spare if specimens do not reach their design strengths.
b. A compressive-strength test shall be the average compressive strength from a set of two or three specimens obtained from same composite sample and tested at age indicated.

ASPHALT PAVING
PART 1 - GENERAL
1.1 SUMMARY
A. Provide hot mix asphalt (HMA) pavement consisting of binder course(s), and surface course on a prepared aggregate base, and pavement markings where shown on the Drawings, and as specified herein.
1.2 SUBMITTALS
A. If requested by the Engineer/Architect (A/E), within 15 calendar days after the Contractor has received the Owner's Notice Award, submit:
1. Hot Mix Asphalt Designs as applicable for: Binder Course and Surface Course
2. Certifications of material compliance for: Traffic Paint.
1.3 REFERENCES
A. Standard Specifications for Road and Bridge Construction, January 1, 2022, Illinois Department of Transportation (IDOT) herein noted as the Standard Specifications.
B. PART - 2 PRODUCTS
2.1 MATERIALS
A. Bituminous Material Prime and Tack Coat:
1. Article 406.02 - MC-30 on aggregate base and SS-1 on HMA Base or concrete.
B. HMA Binder Course:
1. Article 406.02 - PG 64-22, 4.0 % Voids N-50, IL 19.0 (for compacted lift thickness ≥ 2 1/4")
C. HMA Surface Course:
1. Article 406.02 - PG 64-22, 4.0 % Voids N-50 IL 9.5, Mix "C" (for compacted lift thickness 1 1/4" to 2 1/4").
D. Pavement-Marking Paint: Latex, waterborne emulsion, lead and chromate free, ready mixed, complying with FS TT-P-1952, with drying time of less than 45 minutes. The Architect/Engineer shall approve the paint manufacturer.
1. Color: Yellow for Accessibility Parking stripes and hatching. White for all other stripes, symbols, words, and hatching.
PART - 3 EXECUTION
3.1 SUBGRADE PREPARATION
A. Subgrade preparation shall be in accordance with Section 3.6 Excavation and Fill of these specifications.
B. Geotextile Fabric, Geogrid and Aggregate Base shall be in accordance with Section Aggregate Base Courses of these specifications.
3.2 BITUMINOUS PRIME & TACK COAT
A. The prime and tack coats shall be applied in accordance with Article 406.05. Application rates shall be 0.25 lb/sf on aggregate bases, 0.05 lb/sf on concrete, milled HMA bases, aged HMA surface and 0.025 lb/sf on brick and HMA lifts. A sand coat shall be applied following the prime application when the area being primed is open to traffic.
3.3 HMA BINDER AND SURFACE COURSES
A. The HMA binder and surface courses shall in general be constructed in compliance with Section 406 as specified herein:
1. Comply with Articles:
a. 406.03 Equipment.
b. 406.04 Keeping Road Open to Traffic.
c. 406.05 Preparation, Priming and Leveling of Brick, Concrete or HMA or Aggregate Bases.
d. 406.06 Placing.
1) The automatic electronic grade control will not be required in areas of short passes (less than 300 feet).
2) A test strip will not be required.
f. 406.07 Compaction.
1) Rolling shall be done at 90°in areas of three or more lanes to remove longitudinal roller marks.
2) Coring will not be required unless requested by the Owner to verify course depth.
g. 406.08 Butt Joints.
h. 406.09 Approaches, Intersections, and Entrances.
i. 406.10 Multi-lane Pavement Resurfacing.
j. 406.11 Surface Tests.
1) Revise to read: Finished paving smoothness tolerance shall be no deviations greater than 1/4" in 10', with no pools of water greater than 1/8" in depth.
k. 406.12 Protection of Pavement
1) Any damage to adjoining pavements, pavement edges or structures to remain shall be removed and/or repaired as directed by the A/E at no cost to the Owner.
2) Saw cuts at adjoining pavement edges to remain shall be full depth to provide a straight and uniform edge.
3.4 PAVEMENT MARKINGS
A. Asphalt pavement shall be in place a minimum of 10 days and be dry before starting pavement marking.
B. Sweep and clean surface to eliminate loose material and dust. Remove any oil or grease.
C. Apply paint with mechanical equipment to produce pavement markings of dimensions indicated with uniform, straight edges. Apply at manufacturer's recommended rates to provide a minimum wet film thickness of 16 mils.
D. Paint shall not be applied at air temperatures below 40 degrees F.
3.5 FIELD QUALITY CONTROL
A. The Contractor will provide testing services of a soils engineer and/or independent laboratory for this project.
B. Upon completion of each test and/or inspection, promptly distribute copies of test or inspection reports to the A/E.
C. Testing Requirements:
1. Field density/moisture tests (ASTM D2922, D2950 and D3017):
a. Asphalt Pavement: 1 per 5000 sq ft per lift.

EROSION CONTROL

PART 1 - GENERAL
1.1 SUMMARY
A. Furnish all materials; install, construct, maintain, and remove specified erosion control devices; at locations specified on the plans.
1.2 GENERAL
A. The Contractor shall manage his operations to control water pollution in accordance with this specification and applicable State and Local regulations. Construct or permanent drainage facilities and other contract work, contributing to control of erosion, shall be scheduled at the earliest practicable time.
B. The Contractor shall furnish, install, maintain, and remove temporary erosion control measures. The Contractor shall prevent silt or polluted storm water discharge from the site.
C. The Owner's Representative may require installation of additional erosion control facilities, by the Contractor, if in the sole opinion of the Owner's Representative, the Contractor's efforts are inadequate.
PART 2 - PRODUCTS
2.1 MATERIALS
A. Geotextile Silt Fence:
1. Fabric: material conforming to Standard Specifications Section 1080.02
2. Posts: 4 foot minimum w steel (T-section) weighing at least 1.25 pounds per foot, exclusive of anchor plate. Painted posts are not required, or a minimum cross-sectional area of 2" x 2" nominal size.
3. Fastener: Wire or plastic ties with a minimum tensile strength of 50 pounds.
B. Wattles:
1. Netting: Open weave, degradable netting. Nominal diameter of 12 inches, or as specified.
2. Fill Material: Straw, wood excelsior, coir, or other natural materials approved by the Engineer.
3. Stakes: 1 inch by 1 inch (minimum) wooden stakes, or stakes of equivalent strength.
C. Erosion Control Blankets
1. Short Term Erosion Control Blanket, Functional longevity of between 3 and 12 months and classified as follows:
a. Single-net erosion control blankets and open weave textiles, consisting of an erosion control blanket composed of processed degradable natural or polymer fibers, mechanically bound together by a single degradable synthetic or natural fiber netting to form a continuous matrix, or an open weave textile composed of processed degradable natural or polymer yarns or twines woven into a continuous matrix.
2. Long Term Erosion Control Blanket, Functional longevity of 36 months and classified as follows:
a. Erosion control blankets and open weave textiles, consisting of processed slow-degrading natural or polymer fibers, mechanically bound together between two slow degrading synthetic or natural fiber nettings to form a continuous matrix, or an open weave textile composed of processed slow-degrading natural or polymer yarns or twines woven into a continuous matrix.
D. Turf Reinforcement Mats (TRM)
1. TRM that is constructed of a web of mechanically or melt-bonded polymer netting, monofilaments, or fibers that are entangled or woven to form a strong and dimensionally stable mat. Non-woven bonding methods include polymer welding, thermal or polymer fusion, or the placement of fibers between two high-strength, biaxially oriented nets, mechanically bound by parallel stitching with polyolefin thread. Use only components that are 100% synthetic and resistant to biological, chemical, and ultraviolet degradation. Meet the minimum material and performance requirements contained below:
a. Grab tensile Strength (lb/ft): 240 ASTM D 6818.
b. UV Stability (%): 80 - ASTM D4355 (1000 Hour Exposure)
c. Allowable Shear Stress (lb/sq ft): 10 ASTM 6460
d. Maximum Slope Grade: 1:1(H:V) or Flatter
E. Rip Rap:
1. Riprap Class B material conforming to Standard Specifications Section 1005.01 with size and locations as noted in the construction documents.
F. Temporary Seeding:
1. December 1 to March 1: 50 lbs oats/acre.
2. March 1 to December 1: 50 lbs cereal rye or wheat.
3. Mulch shall be wheat straw.
PART 3 - EXECUTION
3.1 GEOTEXTILE SILT FENCE
A. Installation:
1. Install material along the contour of the ground, as specified in the contract documents, or as directed by the Engineer.
2. Insert 12 inches of fabric to a minimum depth of 6 inches (fabric may be folded below the ground line).
3. Compact installation by driving along each side of the silt fence, or by other means, as necessary to adequately secure the fabric in the ground, to prevent pullout and water flow under the fence.
4. Drive posts into the ground alongside the silt fence, to a minimum depth of 20 inches, unless otherwise specified by the Engineer. Space posts as shown on these construction documents.
B. Maintenance:
1. Repair or replace non-functioning silt fence that allows water to flow under the fence, is torn, or is otherwise damaged, due to inadequate installation, at no additional cost to the Owner.
2. When accumulated sediment reaches a level one-half the height of the fence, remove the silt fence as described above, and replace according to the installation instructions above.
C. Removal:
1. Remove the silt fence upon final stabilization of the project area, or according to the staging indicated in the SWPPP.
3.2 WATTLES:
A. Installation:
1. Construct a shallow trench, 2 to 4 inches deep, matching the width and contour of the wattle.
2. Install wattle along contour of slope.
3. Turn ends of wattle uphill to prevent water from flowing around ends.
4. Drive stakes through the center of the wattle, into the ground at a maximum spacing of 4 feet along the length of the wattle, and as needed to secure the wattle and prevent movement.

B. Maintenance:
1. When accumulated sediment reaches a level one-half the height of the wattle, or when the wattle becomes clogged with sediment and no longer allows runoff to flow through, remove the wattle as described above, and replace according to the installation instructions above.
C. Removal:
1. When specified in the contract documents, or as directed by the Engineer, remove the wattle upon completion of the project, and after final stabilization is achieved; or as indicated in the SWPPP, if applicable.
3.3 EROSION CONTROL BLANKET
A. Install according to the manufacturer's published installation literature for the product specified and application (slope or channel).
3.4 TURF REINFORCEMENT MATS (TRM)
A. Install according to the manufacturer's published installation literature for the product specified and application (slope or channel).
3.5 RIPRAP:
A. Installation:
1. The rip rap shall be placed to the lines and grades shown on the drawings.
2. The rip rap shall be placed to achieve the depth shown on the drawings.
3. The final surface shall be free of mounds and windrows using hand or machine leveling as required to achieve a uniform, reasonably even surface.
3.6 TEMPORARY SEEDING AND MULCHING
A. Installation:
1. Temporary seeding mixtures and planting season.
2. Fertilizer shall be applied at the rate specified for permanent seeding.
3.7 SEDIMENT REMOVAL
A. Sediment deposits shall be removed when:
1. The deposits reach approximately one-half the height of a ditch check, straw bale barrier or silt fence.
2. The sediments have reduced the ponded volume of sediment basins to one-third of the original volume.
B. Sediment removed from erosion control features shall be deposited in a location where it will not erode into construction areas or watercourses.

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REVISION HISTORY

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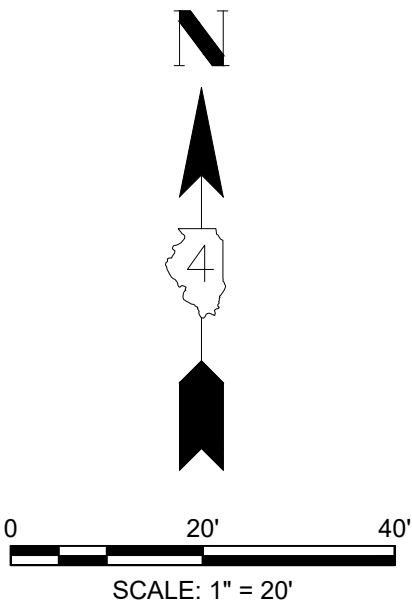
CANOPY CHASE ADDITION
GALE CREDIT UNION
2990 COURT ST
PEKIN, IL 61554

Non-Reduced Sheet Size: 22" x 34"	
Full sized plans have been prepared using standard scales. Reduced size plans may not conform to standard scales.	
DESIGNED	DRAWN
ZAC	ZAC
FIELD	FIELD BOOK
CHECKED	CHECK DATE
MCL	6/20/23
SHEET TITLE	
SITE SPECIFICATIONS	
PROJECT NO. 23-3037	
DRAWING ISSUED DATE: 6/20/23	
SHEET	
C003	

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Pella, IA Hambl, MO Columbia, MO
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LEGEND	
	CONCRETE REMOVAL
	ASPHALT REMOVAL
	LANDSCAPE REMOVAL



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CANOPY CHASE ADDITION	GALE CREDIT UNION 2990 COURT ST PEKIN, IL 61554
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MCL	6/20/23

SHEET TITLE

SITE DEMOLITION
PLAN

PROJECT NO. 23-3037
DRAWING ISSUED DATE: 6/20/23
SHEET

CD101



LEGEND

- FOG SEAL (SEE NOTES)
- CONCRETE PAVEMENT (SEE DETAIL 1/C501)
- ASPHALT PAVEMENT (SEE DETAIL 2/C501)
- CONCRETE PAVEMENT (SEE DETAIL 3/C501)
- CONCRETE CURBING (SEE DETAIL 4/C501)

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GALE CREDIT UNION
2990 COURT ST
PEKIN, IL 61554

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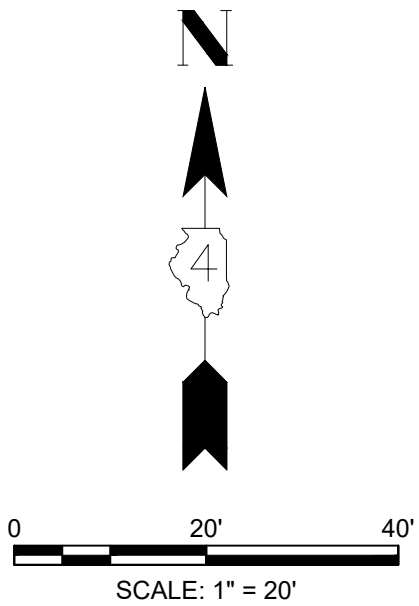
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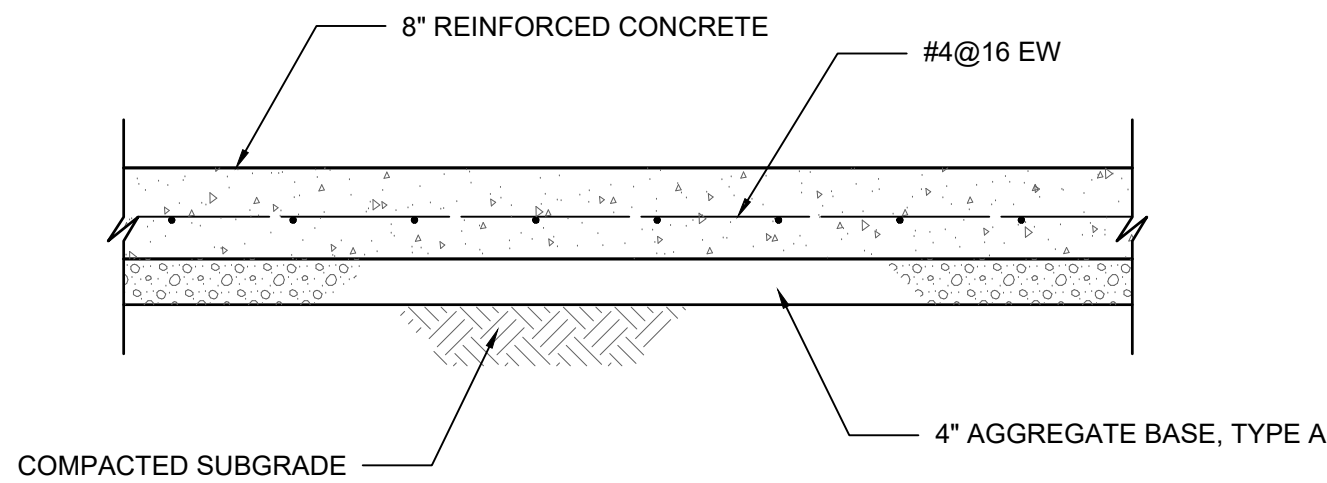
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SITE PLAN

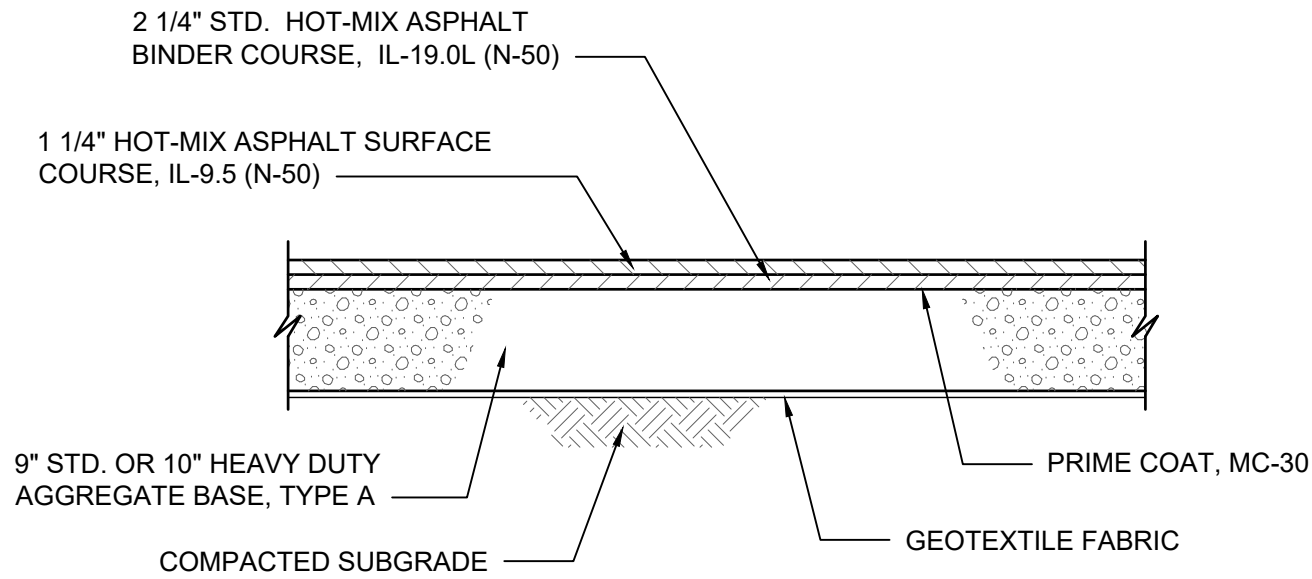
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23-3037
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SHEET

C101

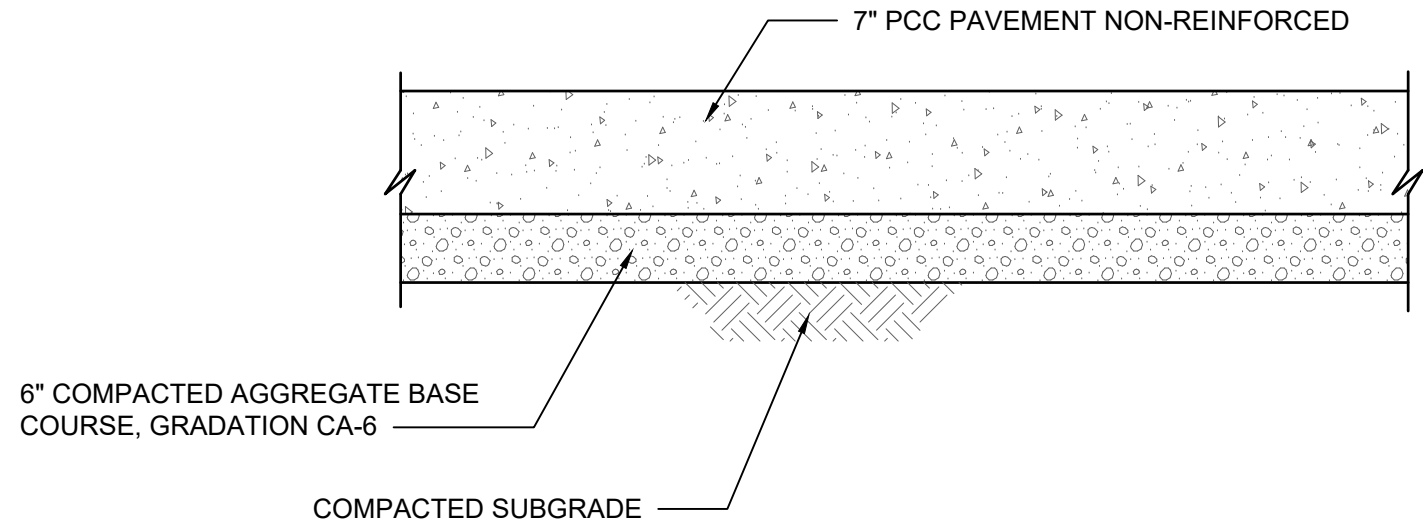




1 CONCRETE PAVING DETAIL
N.T.S.



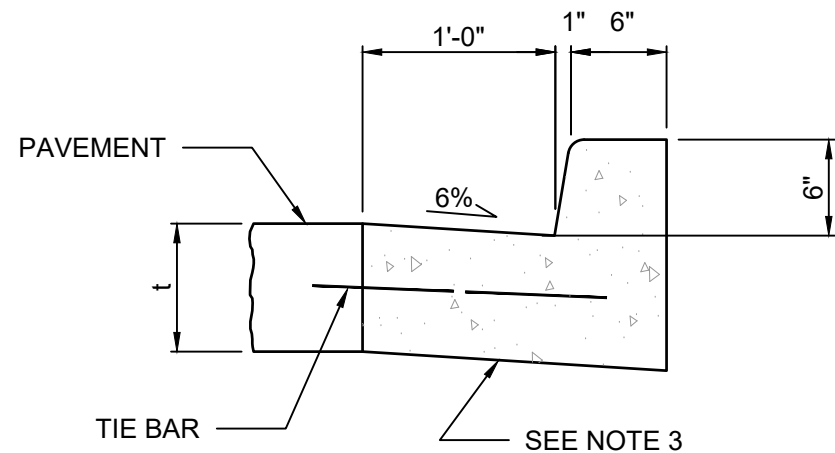
2 PAVING DETAIL
N.T.S.



3 CONCRETE PAVING DETAIL
N.T.S.

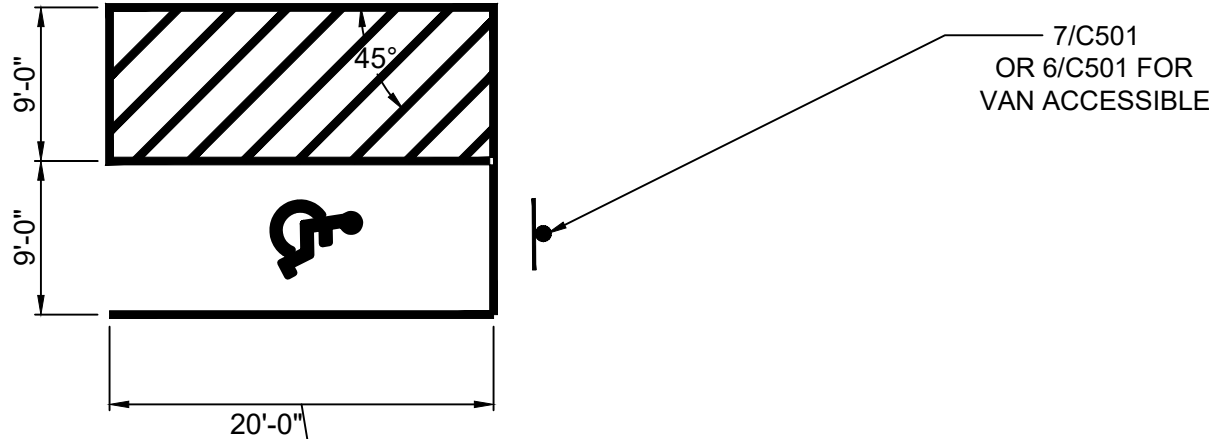
NOTES:

- TIE BARS-LONGITUDINAL JOINT TIE BARS SHALL BE #4 -30" @ 30" CENTERS (CONCRETE PAVEMENT ONLY).
- A MINIMUM CLEARANCE OF 2" BETWEEN THE END OF THE TIE BAR AND THE BACK OF THE CURB SHALL BE MAINTAINED.
- SLOPE SAME AS SUBBASE OR 6% WHEN SUBBASE IS OMITTED.

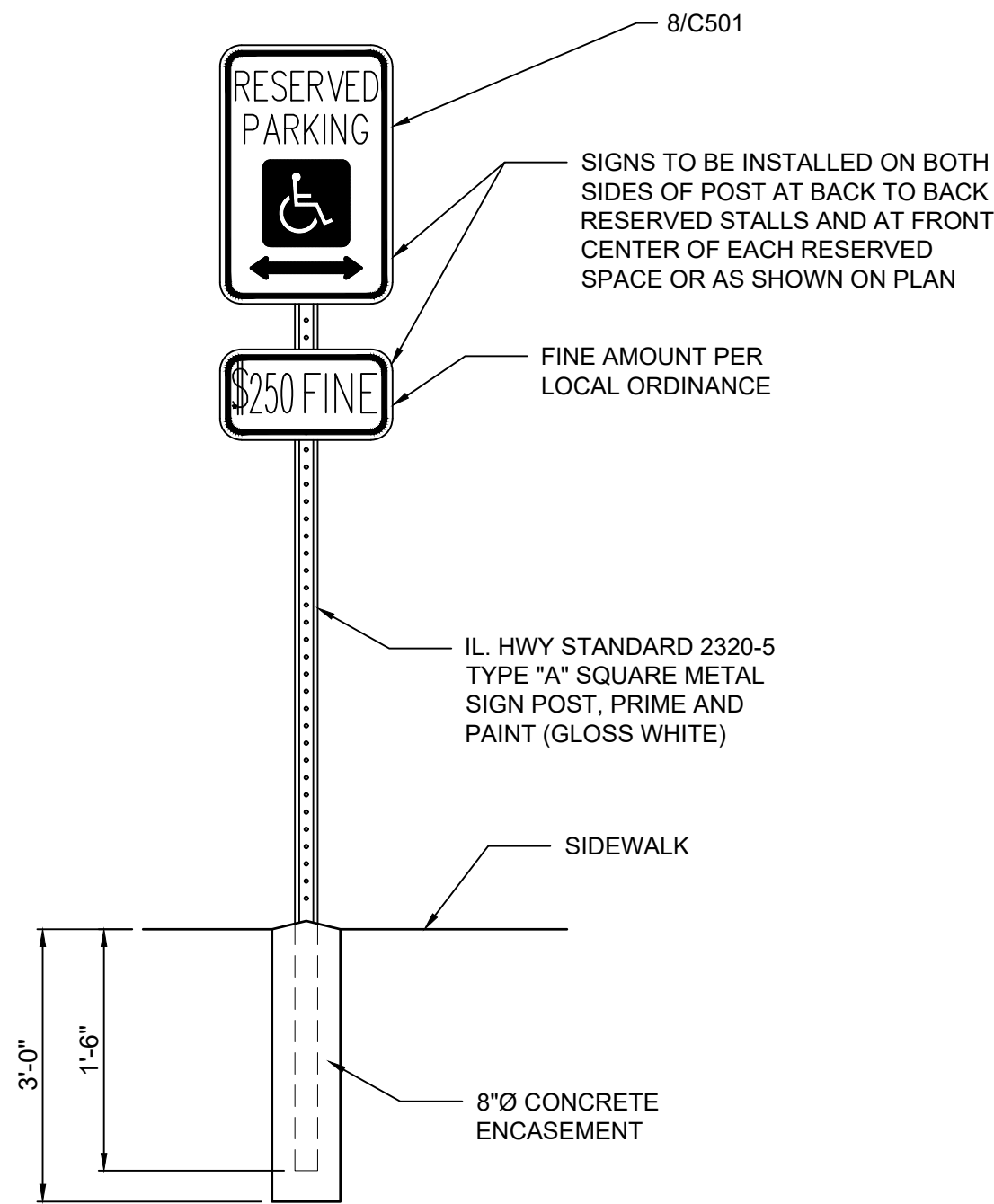


B-6.12

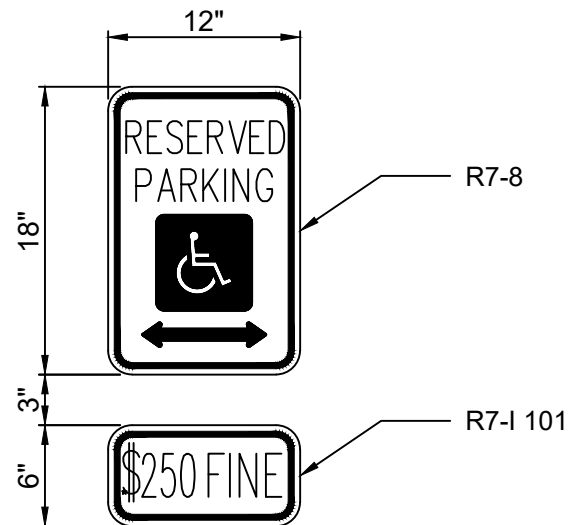
4 CONCRETE CURBING DETAIL
N.T.S.



5 ACCESSIBLE STALL DETAILS
N.T.S.

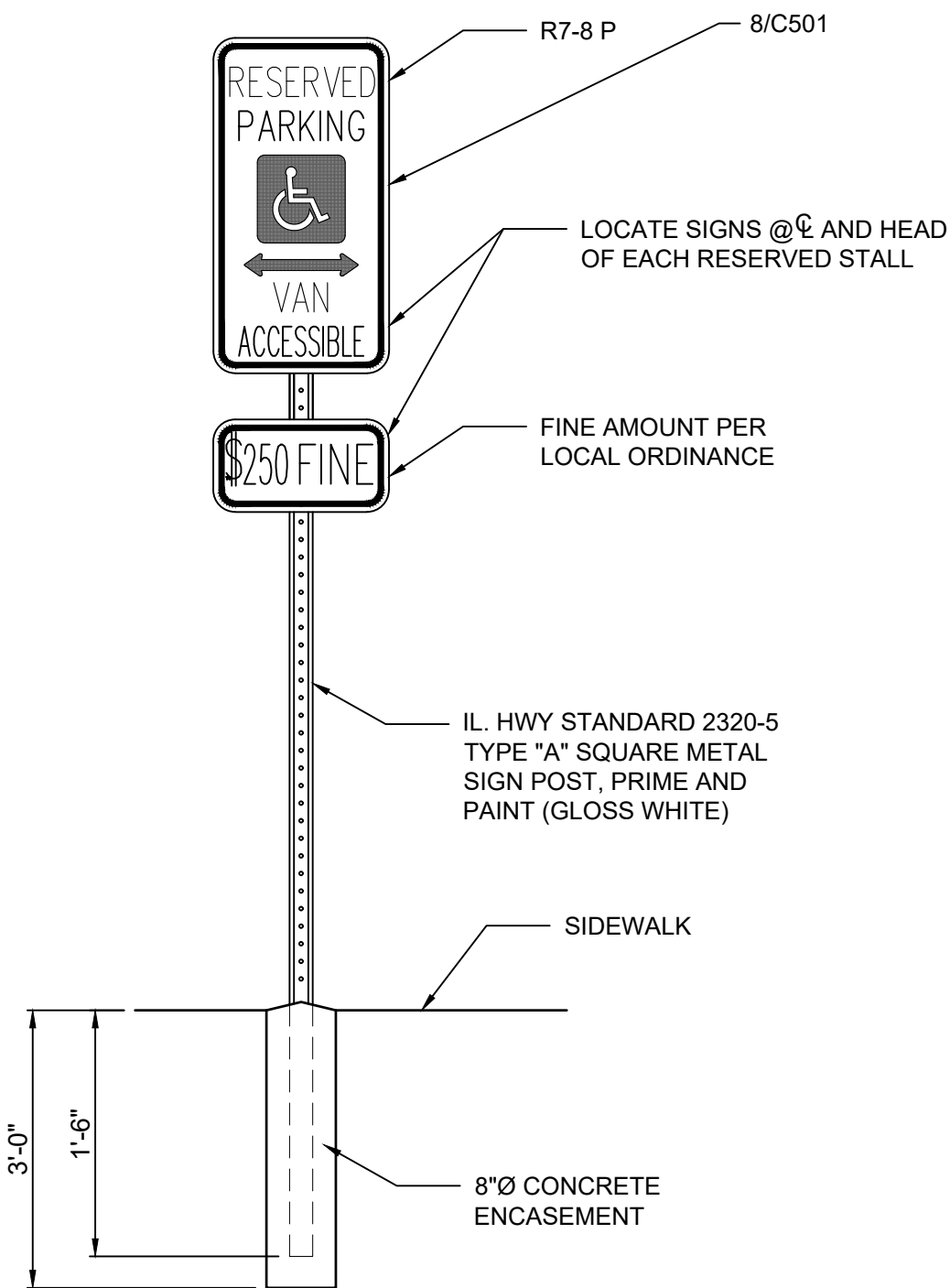


7 ACCESSIBLE PARKING SIGN DETAIL
N.T.S.



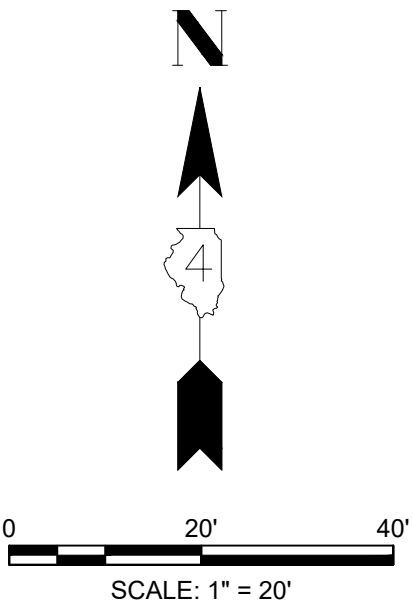
NOTE:
HANDICAP SIGN AND FINE SIGN DIMENSIONS
AND COLORS IN ACCORDANCE WITH ILLINOIS
STANDARD R7-8 AND R7-I 101 RESPECTIVELY

8 ACCESSIBLE PARKING SIGNAGE DETAIL
N.T.S.



NOTE:
SIGN DIMENSIONS AND COLORS IN ACCORDANCE
WITH MUTCD STANDARD R7-8 P

6 ACCESSIBLE PARKING SIGN
N.T.S.



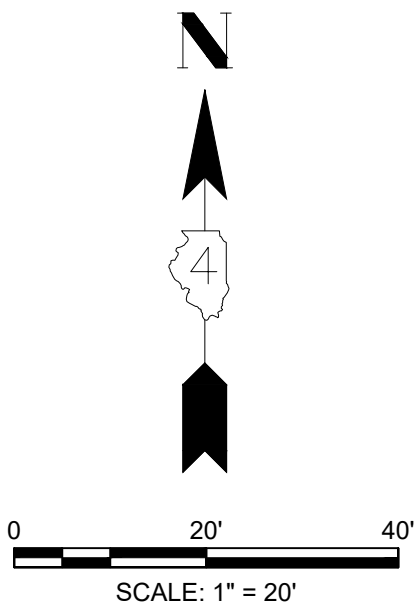
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REVISION HISTORY			
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CANOPY CHASE ADDITION	
GALE CREDIT UNION 2990 COURT ST PEKIN, IL 61554	

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DESIGNED ZAC	DRAWN ZAC
FIELD	FIELD BOOK
CHECKED MCL	CHECK DATE 8/15/23
SHEET TITLE VEHICLE USING NORTH LANE IN CANOPY TURNING SOUTH ON TO COURT ST	
PROJECT NO. 23-3037	
DRAWING ISSUED DATE: 6/12/2023	
SHEET C000	

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CANOPY CHASE ADDITION	GALE CREDIT UNION 2990 COURT ST PEKIN, IL 61554
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SHEET TITLE VEHICLE USING SOUTH LANE IN CANOPY TURNING NORTH ON TO COURT ST	
PROJECT NO. 23-3037	
DRAWING ISSUED DATE: 6/12/2023	
SHEET C000	



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Zoning Board of Appeals Review Sheet
July 12, 2023

Subdivision and Vacation Plat Review

Subdivision and Vacation plat review for property located in the 100 block of Broadway St and Main St. ROW Property will be vacated to the adjoining property owner as shown in the plat of survey.

Legal Description of Proposed Tract

PART OF THE ORIGINAL TOWN OF PEKIN AND PART OF CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, ALL LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 129 IN SAID CINCINNATI ADDITION, SAID NORTHEAST CORNER ALSO BEING THE POINT OF BEGINNING:

FROM SAID POINT OF BEGINNING, THENCE SOUTH 01 DEGREES 10 MINUTES 37 SECONDS EAST (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG THE WEST RIGHT OF WAY LINE OF MAIN STREET AS SHOWN ON SAID CINCINNATI ADDITION, SAID WEST RIGHT OF WAY LINE ALSO BEING THE EAST LINE OF LOTS 129, 130 AND 131 OF SAID CINCINNATI ADDITION, 199.06 FEET TO THE SOUTHEAST CORNER OF SAID LOT 131; THENCE SOUTH 89 DEGREES 53 MINUTES 06 SECONDS WEST ALONG THE SOUTH LINE OF LOTS 131 AND LOT 158 IN SAID CINCINNATI ADDITION, 170.20 FEET; THENCE NORTH 00 DEGREES 06 MINUTES 54 SECONDS WEST, 46.39 FEET; THENCE NORTH 23 DEGREES 35 MINUTES 04 SECONDS EAST, 237.73 FEET; THENCE NORTH 07 DEGREES 59 MINUTES 00 SECONDS WEST, 28.20 FEET TO THE SOUTHEAST CORNER OF LOT 2 OF THE WATER BLOCKS AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS; THENCE SOUTH 85 DEGREES 40 MINUTES 28 SECONDS EAST ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOTS 1 AND 2 OF SAID WATER BLOCKS, 73.42 FEET TO A POINT ON THE NORTHERLY EXTENSION OF SAID WEST RIGHT OF WAY LINE; THENCE SOUTH 01 DEGREES 10 MINUTES 37 SECONDS EAST ALONG SAID NORTHERLY EXTENSION, 87.31 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 0.819 ACRES, MORE OR LESS



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Subdivision and Vacation Plat Review

Subdivision and Vacation plat review for property located in the 100 block of Broadway St. and Main St. ROW Property will be vacated to the adjoining property owner as shown in the plat of survey.

Legal Description of Right Of Way Parcel to Be Vacated

PART OF THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, BOTH LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 129 IN CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN, AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS, THENCE NORTH 01 DEGREES 10 MINUTES 37 SECONDS WEST (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 129, SAID EAST LINE ALSO BEING THE WEST RIGHT OF WAY LINE OF MAIN STREET, 35.00 FEET TO THE NORTHEASTERLY CORNER OF A TRACT AS DESCRIBED IN ORDINANCE NO. 1132, DATED AUGUST 16, 1971, AND RECORDED AUGUST 26, 1971, IN BOOK 876 AT PAGE 326, AS DOCUMENT NUMBER 499610, SAID NORTHEASTERLY CORNER ALSO BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING, THENCE CONTINUING NORTH 01 DEGREES 10 MINUTES 37 SECONDS WEST ALONG SAID NORTHERLY EXTENSION, 52.31 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOTS 1 AND 2 OF THE WATER BLOCKS AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS; THENCE NORTH 85 DEGREES 40 MINUTES 28 SECONDS WEST ALONG SAID EASTERLY EXTENSION, 73.42 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 52 DEGREES 05 MINUTES 54 SECONDS EAST ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 94.15 FEET TO THE POINT OF BEGINNING.

SAID RIGHT OF WAY PARCEL CONTAINS 0.044 ACRES, MORE OR LESS.

SUMMARY

- Property is being subdivided due to a sale agreement between the City of Pekin and Roger Brotherton.
- ROW areas as shown on the plat of survey will be vacated

STAFF NOTES

- **Staff Recommends Approval**

LEGAL DESCRIPTION- PROPOSED TRACT

PART OF THE ORIGINAL TOWN OF PEKIN AND PART OF CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, ALL LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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SAID PARCEL CONTAINS 0.819 ACRES, MORE OR LESS.

LEGAL DESCRIPTION- RIGHT OF WAY PARCEL TO BE VACATED

PART OF THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, BOTH LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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FROM SAID POINT OF BEGINNING, THENCE CONTINUING NORTH 01 DEGREES 10 MINUTES 37 SECONDS WEST ALONG SAID NORTHERLY EXTENSION, 52.31 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOTS 1 AND 2 OF THE WATER BLOCKS AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS; THENCE NORTH 85 DEGREES 40 MINUTES 28 SECONDS WEST ALONG SAID EASTERLY EXTENSION, 73.42 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 52 DEGREES 05 MINUTES 54 SECONDS EAST ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 94.15 FEET TO THE POINT OF BEGINNING.

SAID RIGHT OF WAY PARCEL CONTAINS 0.044 ACRES, MORE OR LESS.

OWNERS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF TAZEWELL) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED, ARE THE LEGAL OWNERS OF RECORD OF THE LAND DESCRIBED ON THE PLAT HEREON DRAWN AND SHOWN HEREON AS SUBDIVIDED, AND THAT THEY HAVE CAUSED SAID LAND TO BE SURVEYED, SUBDIVIDED, STAKED, AND PLATTED AS SHOWN HEREON, FOR THE PURPOSE OF HAVING THIS PLAT RECORDED AS PROVIDED BY LAW AND TO THE BEST OF THE OWNER'S KNOWLEDGE THE LAND DESCRIBED LIES IN THE EUREKA COMMUNITY UNIT SCHOOL DISTRICT.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS _____ DAY OF JUNE, 2023.

(SEAL) _____

(SEAL) _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF TAZEWELL) SS

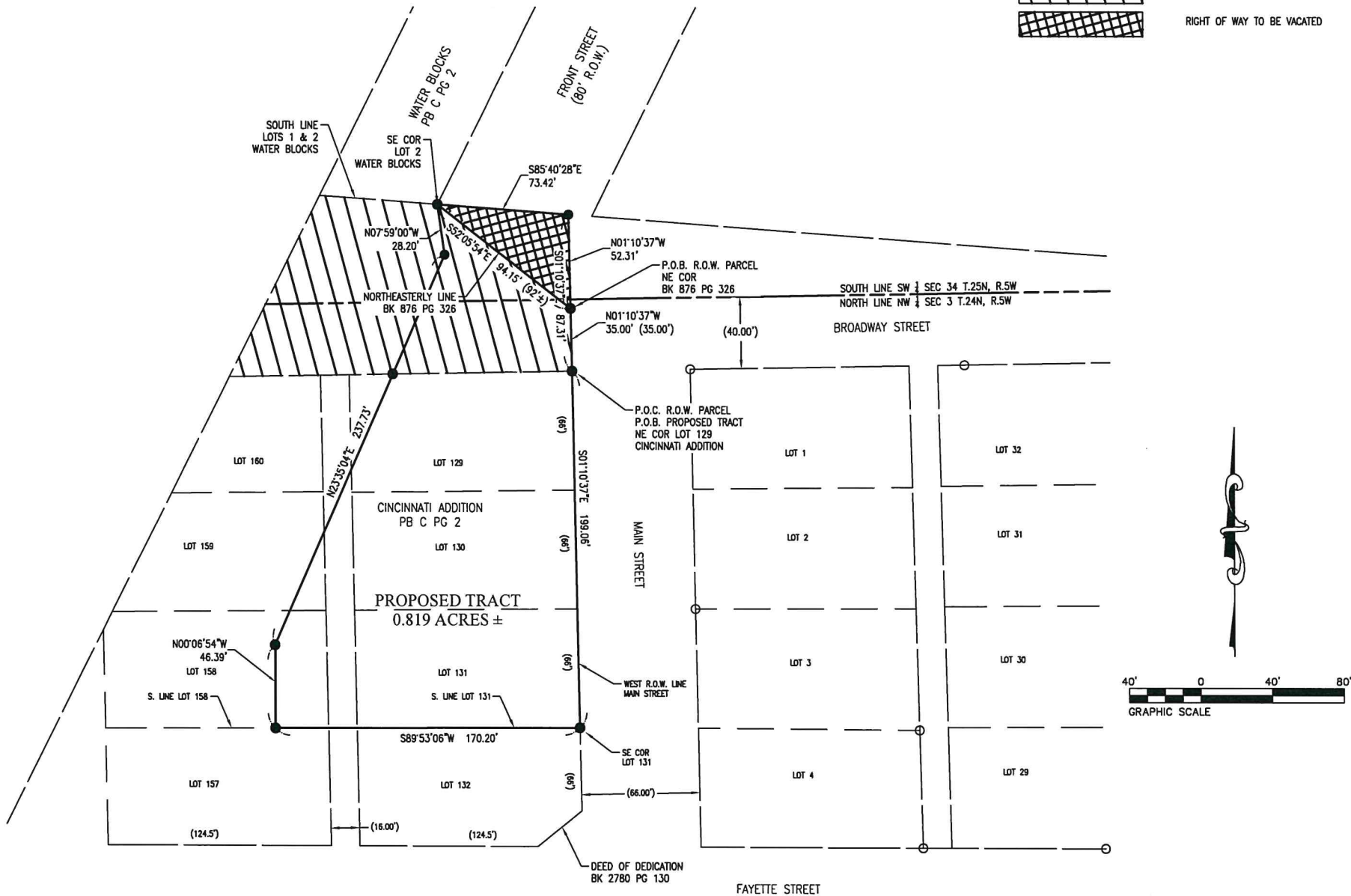
I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE SAID PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE ACCOMPANYING PLAT AND CERTIFICATION, EACH APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED THE SAID PLAT AND CERTIFICATION AS THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF JUNE, 2023.

(SEAL) _____

PLAT OF SURVEY

PART OF THE ORIGINAL TOWN OF PEKIN AND PART OF CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH AND PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH, ALL LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF TAZEWELL, STATE OF ILLINOIS



GENERAL NOTES:

1.) THIS SURVEY IS ONLY VALID TO THOSE WHO IT IS ORIGINALLY CERTIFIED TO. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. WITHOUT WRITTEN AUTHORIZATION FROM THOUVENOT, WADE AND MOERCHEN INC.

2.) ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.

3.) BASIS OF BEARINGS AND COORDINATES: ALL DISTANCES AND COORDINATES SHOWN HEREON ARE GROUND (GRID SCALED) VALUES AND REFERENCED TO ILLINOIS STATE PLANE COORDINATE SYSTEM, WEST ZONE.

LINEAR UNIT: US SURVEY FEET (SFT)
GEODETIC DATUM: NAD 83 (2011)
VERTICAL DATUM: NAVD 88 (GEOID 18)
PROJECT LOCATION:
LATITUDE: 40°33'54.85286"N
LONGITUDE: 89°39'17.83894"W
EASTING: 2438748.82 SFT
ELEV: 482.23 FT
CM SCALE FACTOR: 1.0000535744

FIELD WORK COMPLETED ON MARCH 10, 2023.

4.) THIS SURVEY IS EXEMPT FROM THE PLAT ACT IN ACCORDANCE WITH 765 ILCS 205.1(B)(2).

THIS IS TO CERTIFY THAT THOUVENOT, WADE, & MOERCHEN, INC., HAS DURING THE MONTH OF MARCH 2023, SURVEYED AND SUBDIVIDED THE TRACT SHOWN HEREON AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATE OF PLAT OR MAP: 6/5/2023

SERENA PAGE
LICENSE NUMBER: 035-003987
EXPIRATION DATE: NOVEMBER 30, 2024



CONSULTING ENGINEERING
GEOSPATIAL SERVICES

ILLINOIS SWANSEA
COLUMBIA
GLEN CARBON
PEORIA
MISSOURI ST. CHARLES
ST. LOUIS
COLUMBIA
TENNESSEE NASHVILLE
CHATTANOOGA

THOUVENOT, WADE
& MOERCHEN, INC.

PEORIA OFFICE
1014 W PIONEER PKWY, SUITE 100
PEORIA, IL
61615
309-326-6030
WWW.TWM-INC.COM

PROF. LICENSE	NUMBER
IL. PROF. DESIGN FIRM	184-001220
IL. PROF. ENGR. CORP.	62-035370
IL. PROF. STR. ENGR. CORP.	81-005202
IL. PROF. LAND SURV. CORP.	048-000029
KS. PROF. ENGR. FACILITY	E-3256
MO. PROF. ENGR. CORP.	001528
MO. LAND SURVEYING CORP.	000346
TN. PROF. ENGR. FIRM	8974

SEAL



DATE SIGNED: 6/5/2023
LICENSE EXPIRATION: 11/30/2024

ISSUED FOR
DATE OF ISSUANCE

REV.	DATE	DESCRIPTION
△		
△		
△		
△		

DRAWN BY: MH
DESIGNED BY: SP
CHECKED BY: SP
APPROVED BY: SP
PROJECT NO: 230160

PROJECT:
CITY OF PEKIN - BROTHERTON

TITLE:
PLAT OF SURVEY

LEGAL DESCRIPTION: PROPOSED TRACT

PART OF THE ORIGINAL TOWN OF PEKIN AND PART OF CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, ALL LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 129 IN SAID CINCINNATI ADDITION, SAID NORTHEAST CORNER ALSO BEING THE POINT OF BEGINNING:

FROM SAID POINT OF BEGINNING, THENCE SOUTH 01 DEGREES 10 MINUTES 37 SECONDS EAST (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG THE WEST RIGHT OF WAY LINE OF MAIN STREET AS SHOWN ON SAID CINCINNATI ADDITION, SAID WEST RIGHT OF WAY LINE ALSO BEING THE EAST LINE OF LOTS 129, 130 AND 131 OF SAID CINCINNATI ADDITION, 199.06 FEET TO THE SOUTHEAST CORNER OF SAID LOT 131; THENCE SOUTH 89 DEGREES 53 MINUTES 06 SECONDS WEST ALONG THE SOUTH LINE OF LOTS 131 AND LOT 158 IN SAID CINCINNATI ADDITION, 170.20 FEET; THENCE NORTH 00 DEGREES 06 MINUTES 54 SECONDS WEST, 46.39 FEET; THENCE NORTH 23 DEGREES 35 MINUTES 04 SECONDS EAST, 237.73 FEET; THENCE NORTH 07 DEGREES 59 MINUTES 00 SECONDS WEST, 28.20 FEET TO THE SOUTHEAST CORNER OF LOT 2 OF THE WATER BLOCKS AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS; THENCE SOUTH 85 DEGREES 40 MINUTES 28 SECONDS EAST ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOTS 1 AND 2 OF SAID WATER BLOCKS, 73.42 FEET TO A POINT ON THE NORTHERLY EXTENSION OF SAID WEST RIGHT OF WAY LINE; THENCE SOUTH 01 DEGREES 10 MINUTES 37 SECONDS EAST ALONG SAID NORTHERLY EXTENSION, 87.31 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 0.819 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: RIGHT OF WAY PARCEL TO BE VACATED

PART OF THE ORIGINAL TOWN OF PEKIN AS SHOWN ON A PLAT OF PEKIN AND ITS ADDITIONS DATED NOVEMBER 1886 AND RECORDED IN PLAT BOOK C AT PAGE 2, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH AND PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, BOTH LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, TAZEWELL COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 129 IN CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN, AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS, THENCE NORTH 01 DEGREES 10 MINUTES 37 SECONDS WEST (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 129, SAID EAST LINE ALSO BEING THE WEST RIGHT OF WAY LINE OF MAIN STREET, 35.00 FEET TO THE NORTHEASTERLY CORNER OF A TRACT AS DESCRIBED IN ORDINANCE NO. 1132, DATED AUGUST 16, 1971, AND RECORDED AUGUST 26, 1971, IN BOOK 876 AT PAGE 326, AS DOCUMENT NUMBER 499610, SAID NORTHEASTERLY CORNER ALSO BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING, THENCE CONTINUING NORTH 01 DEGREES 10 MINUTES 37 SECONDS WEST ALONG SAID NORTHERLY EXTENSION, 52.31 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOTS 1 AND 2 OF THE WATER BLOCKS AS SHOWN ON SAID PLAT OF PEKIN AND ITS ADDITIONS; THENCE NORTH 85 DEGREES 40 MINUTES 28 SECONDS WEST ALONG SAID EASTERLY EXTENSION, 73.42 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 02 DEGREES 05 MINUTES 54 SECONDS EAST ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 94.15 FEET TO THE POINT OF BEGINNING.

SAID RIGHT OF WAY PARCEL CONTAINS 0.044 ACRES, MORE OR LESS.

OWNERS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF TAZEWELL) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED, ARE THE LEGAL OWNERS OF RECORD OF THE LAND DESCRIBED ON THE PLAT HEREON DRAWN AND SHOWN HEREON AS SUBDIVIDED, AND THAT THEY HAVE CAUSED SAID LAND TO BE SURVEYED, SUBDIVIDED, STAKED, AND PLATTED AS SHOWN HEREON, FOR THE PURPOSE OF HAVING THIS PLAT RECORDED AS PROVIDED BY LAW AND TO THE BEST OF THE OWNER'S KNOWLEDGE THE LAND DESCRIBED LIES IN THE EUREKA COMMUNITY UNIT SCHOOL DISTRICT.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS _____ DAY OF MAY, 2021.

(SEAL) _____

(SEAL) _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF TAZEWELL) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE SAID PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE ACCOMPANYING PLAT AND CERTIFICATION, EACH APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND SEALED THE SAID PLAT AND CERTIFICATION AS THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF MAY, 2021.

(SEAL) _____

PLAT OF SURVEY

PART OF THE ORIGINAL TOWN OF PEKIN AND PART OF CINCINNATI ADDITION TO THE ORIGINAL TOWN OF PEKIN, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH AND PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 25 NORTH, ALL LYING IN RANGE 5 WEST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF TAZEWELL, STATE OF ILLINOIS



GENERAL NOTES:

1.) THIS SURVEY IS ONLY VALID TO THOSE WHO IT IS ORIGINALLY CERTIFIED TO. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. WITHOUT WRITTEN AUTHORIZATION FROM THOUVENOT, WADE AND MOERCHEN INC.

2.) ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.

3.) BASIS OF BEARINGS AND COORDINATES: ALL DISTANCES AND COORDINATES SHOWN HEREON ARE GROUND (GRID SCALED) VALUES AND REFERENCED TO ILLINOIS STATE PLANE COORDINATE SYSTEM, WEST ZONE.

LINEAR UNIT: US SURVEY FEET (SFT)
GEODETIC DATUM: NAD 83 (2011)
VERTICAL DATUM: NAVD 88 (GEOID 18)
PROJECT LOCATION:
LATITUDE: 40°33'54.85286"N
LONGITUDE: 89°39'17.83894"W
HEIGHT: 374.1 FT
CM SCALE FACTOR: 1.0000535744
NORTHING: 1420187.09 SFT
EASTING: 2438748.82 SFT
ELEV: 482.23 FT

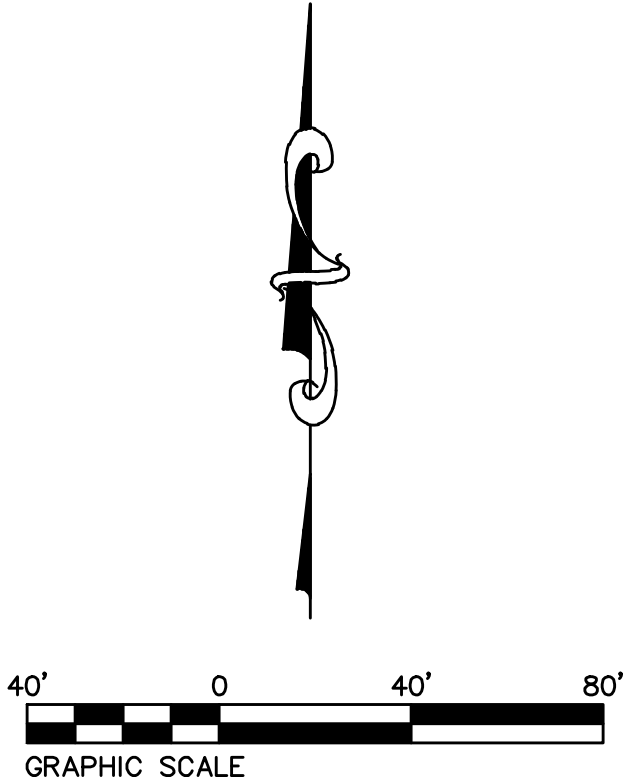
FIELD WORK COMPLETED ON MARCH 10, 2023.

4.) THIS SURVEY IS EXEMPT FROM THE PLAT ACT IN ACCORDANCE WITH 765 ILCS 205.1(B)(2).

LEGEND

○
●
(XXX.XX')
XXX.XX'

FOUND IRON PIN
1/2" X 24" IRON PIN SET
RECORD DISTANCE
MEASURED DISTANCE
PROPOSED BOUNDARY LINE
RIGHT OF WAY LINE
SECTION LINE
PREVIOUSLY VACATED RIGHT OF WAY
RIGHT OF WAY TO BE VACATED



CONSULTING ENGINEERING
GEOSPATIAL SERVICES

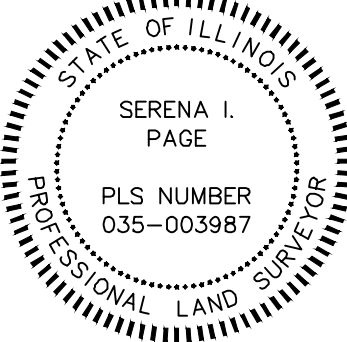
ILLINOIS SWANSEA
COLUMBIA
GLEN CARBON
PEORIA
MISSOURI ST. CHARLES
ST. LOUIS
COLUMBIA
TENNESSEE NASHVILLE
CHATTANOOGA

THOUVENOT, WADE
& MOERCHEN, INC.

PEORIA OFFICE
1014 W PIONEER PKWY, SUITE 100
PEORIA, IL
61615
309-326-6030
WWW.TWM-INC.COM

PROF. LICENSE NUMBER
IL. PROF. DESIGN FIRM 184-001220
IL. PROF. ENGR. CORP. 62-035370
IL. PROF. STR. ENGR. CORP. 81-005202
IL. PROF. LAND SURV. CORP. 048-000029
KS. PROF. ENGR. FACILITY E-3256
MO. PROF. ENGR. CORP. 001528
MO. LAND SURVEYING CORP. 000346
TN. PROF. ENGR. FIRM 8974

SEAL



DATE SIGNED:
LICENSE EXPIRATION: 11/30/2024

ISSUED FOR
DATE OF ISSUANCE

REV.	DATE	DESCRIPTION
△		
△		
△		
△		

DRAWN BY: MH
DESIGNED BY: SP
CHECKED BY: SP
APPROVED BY: SP
PROJECT NO: 230160

PROJECT:

CITY OF PEKIN - BROTHERTON

TITLE:

PLAT OF SURVEY

THIS IS TO CERTIFY THAT THOUVENOT, WADE, & MOERCHEN, INC., HAS DURING THE MONTH OF MARCH 2023, SURVEYED AND SUBDIVIDED THE TRACT SHOWN HEREON AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATE OF PLAT OR MAP: 5/26/2023

SERENA PAGE
LICENSE NUMBER: 035-003987
EXPIRATION DATE: NOVEMBER 30, 2024